

Before the Central Otago District Council

In the matter of The Resource Management Act 1991

And A requested change to the Central Otago District Council's
Operative District Plan – Plan Change 13 (PC13)

STATEMENT OF EVIDENCE OF DAVID TRISTRAM FOR

River Terrace Developments Limited

Dated 23 April 2019

Introduction and Qualifications

- 1 My full name is David Charles Tristram.
- 2 I am a Registered Property Valuer with the New Zealand Institute of Valuers (NZIV) and a Full Member of the Property Institute of New Zealand. I hold a Bachelors degree in Commerce, majoring in Property Valuation.
- 3 I gained registration in 2010 as an Associate member of the Australian Property Institute and transferred this membership to the NZIV in 2017.
- 4 I have more than 13 years' experience in property valuation, over which time I have been responsible for residential, commercial and advisory valuations for a range of purposes, both in New Zealand and Australia.
- 5 I am presently an Associate Director with Opteon Solutions, a specialist international property advisory and valuation company servicing Australia and New Zealand. I opened the Queenstown office for Opteon in 2017 and my role primarily involves undertaking property valuations and reporting for both private clients and banking institutions within the Queenstown Lakes District and Cromwell as well as developing the business within the region.
- 6 Prior to establishing the Opteon Queenstown office I was employed by Opteon Australia in Perth where I was responsible for managing a team of 10 property valuers covering both residential and commercial valuation types from 2016 to 2017. From 2014 to 2016 I was a Senior Valuer within the Advisory division of the Perth office and was responsible for a wide range of valuation and advisory services of specialised asset classes, specifically built form and land development.
- 7 During my time in the Advisory Division of Opteon Perth I prepared a number of Expert Witness reports for private clients, national development companies as well as Federal Government Departments including the Australian Taxation Office on matters to be heard in the Family Court of Western Australia and Federal Court of Australia.
- 8 I have carried out residential valuations in the Cromwell area since 2017, primarily for mortgage lenders. I have inspected the site of the proposed development and am familiar with the wider Cromwell area.
- 9 This evidence has been prepared in line with Environmental Court Practice Note 2014. The Valuer and signatory acknowledge having read, understood and complied to the Valuers knowledge with the relevant Code of Conduct for expert witnesses.

Opteon New Zealand Limited
NZBN 50-199-231
PO Box 33-136, Auckland 0740

P 09 929 2888 E valuers.nz@opteonsolutions.com
F 09 486 5160 W www.opteonsolutions.com

- 10 The valuer and signatory to this report acting in the capacity of an expert confirms that all the inquiries that the valuer believes are desirable and appropriate have been made and that no matters of significance that the valuer regards as relevant have, to the valuer's knowledge, been withheld. I believe the facts that have been stated in this report are true. The opinions expressed in this report are independent and impartial.
- 11 My evidence comprises the following Valuation Report dated 13 April 2019 Opteon ref 9453668.

23 April 2019

Opteon New Zealand Limited
NZBN 50-199-231
PO Box 33-136, Auckland 0740

P 09 929 2888 E valuers.nz@opteonsolutions.com
F 09 486 5160 W www.opteonsolutions.com

SOLUTIONS WITH EXCELLENCE

VALUATION REPORT



River Terrace Cromwell 9310

Prepared For	River Terrace Developments Limited
Report Purpose	Expert Witness before the Central Otago District Council
Valuation Date	13 April 2019
Our Reference	9453668
Client Reference	Not provided

Opteon New Zealand Limited
NZBN 50-199-231
PO Box 33-136, Auckland 0740

P 09 929 2888 E valuers.nz@opteonsolutions.com
F 09 486 5160 W www.opteonsolutions.com

SOLUTIONS WITH EXCELLENCE

Table of Contents

1.0	Executive Summary	6
1.1	Instructions	6
1.2	Property Details.....	6
1.3	Assumptions and Recommendations.....	7
1.4	Indicative Market Value Ranges – As If Complete	7
2.0	Instructions	9
3.0	Basis of Valuation & Definitions	10
4.0	Date of Valuation	10
5.0	Location	10
6.0	Legal Description	12
7.0	Planning	12
8.0	Site (Parent Lot)	13
9.0	Proposed Development	13
9.1	Specification.....	14
10.0	Proposed Product Examples Photography	15
11.0	Parent Site Photography	15
12.0	Current Market Snapshot	16
12.1	Cromwell Residential Market Conditions.....	16
12.2	Entry level Market Activity.....	20
12.3	Current asking price ranges by location	22
12.4	Entry level market summary.....	22
13.0	Market Evidence	22
13.1	Vacant Land Sales	23
13.2	Two Bedroom Sales.....	24
13.3	Three Bedroom Sales	25
13.4	Sales Evidence Conclusions.....	26
14.0	Indicative Market Value Ranges	27
15.0	Valuation	29
15.1	Indicative Market Value Ranges – As If Complete	29
16.0	Assumptions, Conditions and Limitations	30

1.0 Executive Summary

1.1 Instructions

Instructing Party	Mr Chris Meehan, Winton Partners
Client / Authorised Party	River Terrace Developments Limited
Client Reference	Not provided
Valuation Purpose	Expert Witness- <i>Please note, this report does not meet Practice Standards for valuations for mortgage/finance purposes and is specifically not suitable for this purpose.</i>
Valuer Declaration	<p>This report has been prepared in line with Environmental Court Practice Note 14. The Valuer and signatory acknowledge having read, understood and complied to the Valuers knowledge with the relevant Code of Conduct for expert witnesses.</p> <p>The valuer and signatory to this report acting in the capacity of an expert confirms that all the inquiries that the valuer believes are desirable and appropriate have been made and that no matters of significance that the valuer regards as relevant have, to the valuer's knowledge, been withheld. We believe the facts that have been stated in this report are true. The opinions expressed in this report are independent and impartial.</p>

1.2 Property Details

Property Address	River Terrace Estate, Cromwell 9310
Property Description	<p>The parent land forming the proposed River Terrace subdivision is an approximate 49ha land holding located 4 km's south west of the Cromwell Town Centre bounded by State Highway 6 (SH6) to the north and Sandflat Road to the east. The land is predominantly flat and cleared being level with SH6 at its northern boundary though steps down to a lower terrace to the south.</p> <p>The land is subject to a private plan change (Plan Change 13) proposing urban land uses including medium and higher-density residential, retirement living, a small neighbourhood centre, and a possible school, with an associated open space network, walkways, roading and infrastructure.</p> <p>The scope of this report relates to three main residential product types to be offered within the estate. These are; conventional lots comprising vacant land holdings, modern homes and river terrace homes with both of which comprise a range of freestanding residential designs on freehold sections.</p>
Title Description	<ol style="list-style-type: none">Part Section 24 Block I Cromwell being 20ha more or less Record of Title OT16A/611 Tenure Type: Freehold Registered Proprietor(s): River Terrace Developments LimitedSection 28 Block I Cromwell being 29ha more or less Record of Title OT7D/1155 Tenure Type: Freehold Registered Proprietor(s): River Terrace Developments Limited
Registered Interests	The parent lot is subject to encumbrances and restrictions as noted on the Record of Title. Whilst we are aware of the encumbrances and restrictions noted on the Parent Title we note our As If Complete Market Value assessment herein assumes separate Records of Title free of any onerous conditions or registrations. We reserve the right to review our assessment should this not be the case.
Current Zoning	Part Rural Residential, Part Rural – Central Otago District Plan

1.3 Assumptions and Recommendations

Key Assumptions

- The instructions and information supplied contain a full disclosure of all information that is relevant;
- We have been requested to provide an indication of Market Value levels for each of the property types to be offered within the proposed River Terrace subdivision. Given the high-level/concept design information supplied and lack of specific detail on individual proposed properties our advice is to be considered a high-level assessment of indicative Market Value levels for the proposed product typology; and
- Our indicative Market Values noted within this report are assessed 'As if Complete' assuming separate Records of Title are issued for property, free of any onerous conditions or registrations and completion in the current market in line with the details and specification noted herein.

1.4 Indicative Market Value Ranges – As If Complete

Conventional Lots (Land only)	\$270,000 to \$300,000
Modern Home	\$450,000 to \$500,000
River Terrace Home	\$525,000 to \$575,000

Interest Valued	Fee simple subject to vacant possession
Date of Inspection	13 April 2019
Date of Valuation	13 April 2019
Date Issued	23 April 2019
Currency of Valuation	90 days from the date of valuation, or such earlier date if you become aware of any factors that have any effect on the valuation.
Pecuniary Interest	We confirm that the valuer does not have any pecuniary interest that would conflict with the proper valuation of the property.

Signatories



David Tristram
 Associate Director
 Registered Valuer, BComm (Property)
 NZIV 3810
Inspecting Valuer

Important	<i>This Executive Summary must be read in conjunction with the remainder of this report. The Executive Summary is only a synopsis designed to provide a brief overview and must not be acted upon in isolation to the contents of the valuation report.</i>
Third Party Disclaimer	<i>This report has been prepared for the private and confidential use of our client, River Terrace Developments Limited for the specified purpose. It should not be reproduced in whole or part without the express written authority of Opteon New Zealand Limited or relied upon by any other party for any purpose and the valuer shall not have any liability to any party who does so. Our warning is registered here, that any party, other than those specifically named in this paragraph should obtain their own valuation before acting in any way in respect of the subject property.</i>
Inspecting Valuer	<i>Unless otherwise stated the inspecting valuer has inspected the property internally and externally.</i>

Digital Copies of Reports	<i>Where a report has been provided in digital copy and has not been received directly via our firm, the report contents, especially the valuations and critical assumptions, should be verified by contacting the issuing office to ensure the contents are bona fide. In particular if the reader of this report has suspicions that the report appears to be tampered or altered then we recommend the reader contact the issuing office.</i>
Reliance on Whole Report	<i>This valuation should be read in its entirety, inclusive of any summary and annexures. The valuer and valuation firm does not accept any responsibility where part of this report has been relied upon without reference to the full context of the valuation report.</i>

2.0 Instructions

Instructions have been received to undertake a current market valuation of the property as per the details below.

Instructing Party	Mr Chris Meehan
Property Address	River Terrace, Cromwell 9310
Date of Instructions	12 April 2019
Client / Authorised Party	Winton Partners
Valuation Purpose	Expert Witness purposes - <i>Please note, this report does not meet Practice Standards for valuations for mortgage/finance purposes and is specifically not suitable for this purpose.</i>
Valuer Declaration	<p>This report has been prepared in line with Environmental Court Practice Note 14. The Valuer and signatory acknowledge having read, understood and complied to the Valuers knowledge with the relevant Code of Conduct for expert witnesses.</p> <p>The valuer and signatory to this report acting in the capacity of an expert confirms that all the inquiries that the valuer believes are desirable and appropriate have been made and that no matters of significance that the valuer regards as relevant have, to the valuer's knowledge, been withheld. We believe the facts that have been stated in this report are true. The opinions expressed in this report are independent and impartial.</p>
Specific Instructions	<ol style="list-style-type: none">1. Market Value Assessment - 'As If Complete' of each proposed product type as identified within the Jasmox Design Report to be offered within the proposed River Terrace Estate in Cromwell.2. Current Market Synopsis encompassing recent historical market indicators as well as currently marketed stock within Cromwell, Queenstown and Wanaka localities.
Documentation Provided	<p>Information we have been provided with and relied upon in undertaking our valuation includes:</p> <ol style="list-style-type: none">1. River Terrace Design Report, prepared by Jasmox (2017);2. Example plans and specifications, prepared by Winton (2018); and3. Finished product - photographic examples (Winton).
Scope of Work	<p>The scope of work undertaken by the valuer in completing the valuation has included:</p> <ul style="list-style-type: none">• Collation of information from relevant parties regarding the subject property;• Undertaking our own research regarding the proposed product and subject property;• An inspection of the parent lot and locality;• Undertaking market research in terms of values and/or costs of similar properties;• Preparation of valuation calculations; and• Preparation of this report.
Compliance	<p>This report has been prepared in accordance with Environmental Court Practice Note 14 and the Property Institute of New Zealand Practice Standards and Guidance Notes.</p>

A copy of our instructions is attached to this report.

3.0 Basis of Valuation & Definitions

This valuation has been prepared in accordance with definitions and Valuation Applications of the International Valuation Standards Council (IVSC) and endorsed by the Property Institute of New Zealand.

Market Value	The estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing and where the parties had each acted knowledgeably, prudently and without compulsion.
Market Value As If Complete	"Market Value As If Complete" means a valuation that assumes the proposed development work is already complete at the Date of Valuation and reflects the market at the Date of Valuation.

4.0 Date of Valuation

Valuation Date	13 April 2019
Date of Inspection	13 April 2019
Inspection comment	We have physically inspected the parent site of the proposed development though we note the scope of this report pertains to an 'As If Complete' assessment of the proposed development which is yet to be constructed and as such we have not had the benefit of an internal inspection of the finished product.
Currency of Valuation	90 days from the date of valuation, or such earlier date if you become aware of any factors that have any effect on the valuation.

5.0 Location

Cromwell is a southern Central Otago location that benefits from proximity to the highly trafficked tourism localities of Queenstown and Wanaka and serves as a commercial centre for the surrounding locality which comprises a mix of rural residential, rural land and small orchard and viticulture enterprise.

More specifically the subject site is located approximately 4 kilometres south west of the Cromwell Town Centre bounded by State Highway 6 to the north and Sandflat Road to the east which provides the main access to the site. The site is on the western approach to Cromwell which is considered a strategic benefit in light of recent trends of Cromwell residents commuting to Queenstown due to limited availability of affordable housing and well publicised affordability issues within Queenstown.

Highland Motorsports Park, the Central Otago Speedway and a number of horticultural properties are located opposite or in the immediate vicinity of the subject parent site on Sandflat Road which is seen as a detriment due to elevated noise levels associated with these activities.

A full complement of commercial amenity is provided within Cromwell Town Centre.

Figure 1 and 2 below outline the location of the parent site.



Figure 1 Location Map
Sourced from Google Maps - www.google.com

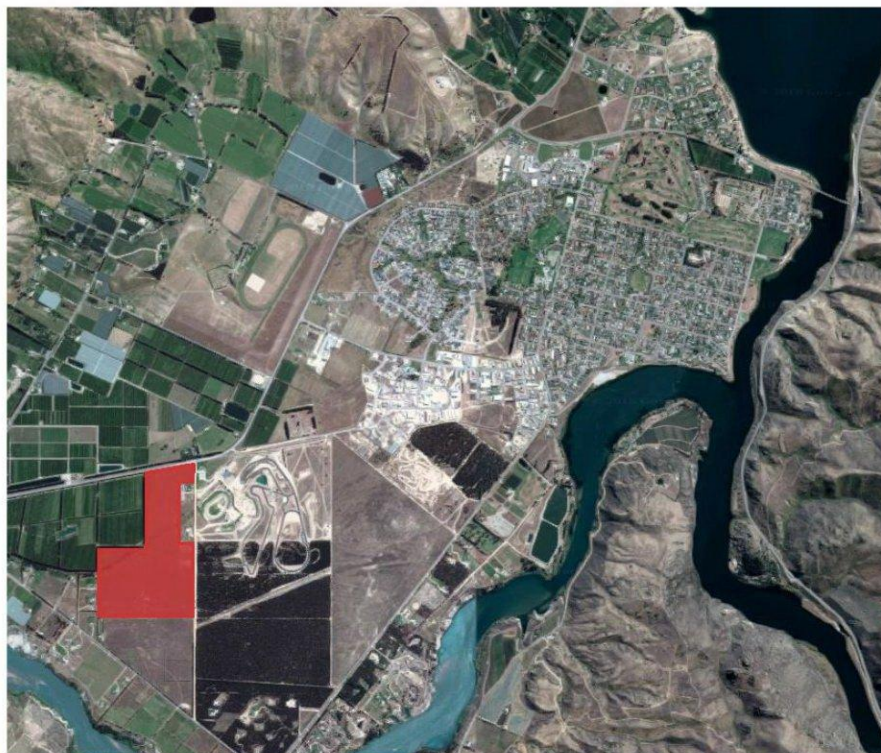


Figure 2 Specific Location Map
Sourced from Google Maps - www.google.com

6.0 Legal Description

Title Description	<ol style="list-style-type: none">1. Part Section 24 Block I Cromwell being 20ha more or less Record of Title OT16A/611 Tenure Type: Freehold Registered Proprietor(s): River Terrace Developments Limited2. Section 28 Block I Cromwell being 29ha more or less Record of Title OT7D/1155 Tenure Type: Freehold Registered Proprietor(s): River Terrace Developments Limited
--------------------------	--

Assumption (Title)	For the purpose of this report our As if Complete assessments assume the proposed product will be offered on separate Record of Title for each property free of any onerous encumbrances or registrations.
---------------------------	--

7.0 Planning

Local Government Area	Central Otago District Council
Planning Scheme	Central Otago District Plan (Operative District Plan)
Current Zoning	Part Rural Residential Part Rural – Central Otago District Plan
Proposed Zoning	<p>The proposed development requires modification of the Operative District Plan via a Plan Change to facilitate development.</p> <p>Plan Change 13 was submitted by the proponent in March 2018 and proposes to create the River Terrace Resource Area in order to progress development of the site.</p> <p>The Plan Change was publicly notified in May 2018 and submissions closed in June 2018. The next phase is for the Plan Change to be heard by independent commissioners in June 2019.</p>
Overlays, Controls and Designations	<p>The Otago Regional Council Natural Hazards Database show this site, and a number of surrounding properties, to be located within an area identified as subject to the below environmental overlays;</p> <ul style="list-style-type: none">• Alluvial Fans – River Terrace. <i>Otago Alluvial Fans Project Report (2009)</i>• Liquefaction- Low Susceptibility. <i>Seismic Risk in the Otago region (2005)</i>• Seismic Ground Class – Deep or Soft Soil – Soft Sediments at risk of higher seismic shaking levels. <p>The above noted environmental hazards are considered a general risk that may be addressed through appropriate construction controls and not having an adverse impact on marketability and value specific to the subject property with this considered in our assessed valuation.</p>
Existing Use	Remnant rural land

8.0 Site (Parent Lot)

Site Area	Approximately 49 ha
Source of Site Area	Derived by calculation from imperial measurements and/or boundary dimensions noted on the title plan and should be confirmed by survey should this be considered necessary.
Site Description	The parent land forming the proposed River Terrace subdivision is an approximate 49ha land holding located 4 kilometres south west of the Cromwell Town Centre bounded by State Highway 6 to the north and Sandflat Road to the east. The land is predominantly flat and cleared being level with SH6 at its northern boundary though steps down to a lower terrace to the south.
Identification	Title plan and physical inspection
Proposed Sections	Our As If Complete assessment of the proposed vacant sections assumes each site to provide a level vacant land holding with direct access to services, vehicle access and suited to development of a residence subject to usual levels of siteworks. This is in fitting with similar vacant land offerings within Cromwell at present.

9.0 Proposed Development

Overview

The River Terrace Design Report (RTDR) prepared by Jasmax identifies the proposed River Terrace development will comprise a master planned subdivision with a range of urban land uses including residential, retirement living, a small neighbourhood centre, and a possible school, with an associated open space network, walkways, roading and infrastructure.

The scope of this report relates to the residential component of the proposal which provides for a potential lot yield of 900 dwellings including medium and high density residential and a retirement living component.

Residential Density

The proponents propose to construct a range of vacant land and turn key products within the subdivision. The RTDR identifies three main density zones which include 'Conventional Lots', 'River Terrace Homes' and 'Modern Homes'. Conventional Lots are to be sold as vacant land suited to freeform residential construction subject to standardised design controls, while the River Terrace and Modern Homes will be marketed and sold as affordable 'turn key' house and land packages. It is our understanding the proposed River Terrace and Modern Homes will comprise a varied range of accommodation types and designs though generally in line with the detail noted below and in section 9.1.

These three products are characterised in Table 1 below.

Table 1 Proposed Product Characteristics

Conventional Lots	River Terrace Homes	Modern Homes
<ul style="list-style-type: none"> Approximately 550sqm 	<ul style="list-style-type: none"> Approximately 300sqm lots 	<ul style="list-style-type: none"> Approximately 200sqm lots
<ul style="list-style-type: none"> 'Design your Own' 	<ul style="list-style-type: none"> 1-2 Storeys 	<ul style="list-style-type: none"> 1-2 storeys
<ul style="list-style-type: none"> Design control standards 	<ul style="list-style-type: none"> 2-3 Bedrooms 	<ul style="list-style-type: none"> 2-3 bedrooms
<ul style="list-style-type: none"> Design approval process 	<ul style="list-style-type: none"> Approx. 140sqm + garage 	<ul style="list-style-type: none"> Approx. 90sqm

9.1 Specification

We are in receipt of a standardised specification prepared by Winton which outlines the proposed specification for similar products they have brought to the market in similar developments. These Specifications are appended to the rear of this report.

The specification provides for a range of external finishing options and a turn key level of finish which forms the basis of our assessment for the River Terrace and Modern Homes. The general specification is summarised below and has been considered as an overall indication of the level and quality of finish to be provided;

Exterior Selections/Finishes

- Profiled metal wall cladding/JH Axon Panel;
- Metalcraft Structural Insulated Panel (SIP) Roof
- Coloursteel Longrun Roofing, flashing and spouting; and
- Powder coated aluminium door and window framing with double glazing

General

- 180L mains pressure electric hot water system;
- Landscaped gardens with seeded grass; and
- Insulated walls and ceiling.

Bathrooms and Wet Areas

- Wall hung vanity;
- Vitreous China Basin;
- Fitted frameless mirror;
- Tiled flooring; and
- Acrylic shower enclosures with aluminium framed shower screens.

Interior Selections/Finishes

- Plasterboard/Gib to walls and ceilings;
- Architraves/skirtings;
- Timber laminate flooring; and
- Cavalier carpets express range.

Internal Features

- 2.4M stud height internally;
- Full internal painting;
- Built in robes to bedrooms; and
- Wall mounted heatpump.

Kitchen

- Freeform laminate benchtops and melamine cabinets;
- Soft close drawers;
- Fisher & Paykel Stainless Steel Appliances; and
- Glass splashback.

Should the proposed specification vary significantly from the above we reserve the right to review our assessment herein.

10.0 Proposed Product Examples Photography

The below is a photographic summary provided to us which represents examples of the proposed product.



11.0 Parent Site Photography



12.0 Current Market Snapshot

12.1 Cromwell Residential Market Conditions

Cromwell Residential market activity has remained steady throughout 2018 with annual sales volumes for dwellings between a tight range of 155 and 171 sales on a rolling month basis for the past 12 months to April 2019. Agents are however reporting a slowing in market interest, particularly into 2019 which is evidenced by the median days to sell (monthly) showing an increasing trend since late 2018. September 2018 recorded a median of 28 selling days with this pushing out to 66 days in March 2019 which is well above the average median of 42 days calculated over the past 12 months. (REINZ Data)

Anecdotal evidence indicates that whilst selling days have increased and interest and activity has slowed median value levels have been upheld with properties that 'tick all the boxes' still selling well and achieving good values though secondary stock is driving the days to sell upwards. This is considered an indication of reducing purchaser pool and demand and is commensurate with indicators of a slowing market. It is worth noting this trend is being mirrored in Queenstown with a slowing of enquiry and purchasers benefiting from steady listings and choice in the market place. These factors are considered to have swung the market in favour of the purchaser with the high levels of capital appreciation experienced over previous years slowed to a more sustainable pace.

Whilst Cromwell does reflect off the Queenstown market, median value performance has been strong in the past 3 years with improved properties up nearly 50% and vacant land up 90% on March 2016 median value levels, out performing both Queenstown and Wanaka. This is considered to have been driven by elevated demand levels and the affordable nature of housing in Cromwell when compared against Queenstown and Wanaka together with a somewhat limited supply of housing and in particular land. Agents have indicated an increasing trend over the preceding 12-18 months with Queenstown residents in particular seeking to cash in equity in a heated Queenstown market and enter the Cromwell market at a lower price point and commute to Queenstown on a daily basis. This trend is reported to be more popular with aging population.

Key Residential Market Indicators

A summary of the most recently published residential market performance indicators for Cromwell are provided in Table 2 below.

Table 2 Key Residential Market Indicators

Indicator	Trend	March 2019	Year on Year Change	Forecast
Properties Sold	➡	14 Sales	+7.14%	➡ +/-
Median Dwelling Sale Price	⬆	\$643,000	+14.80%	↗
Median Section Sale Price (Previous 12mths)	⬆	\$295,000	+20.40%	↗
Days to Sell	⬆	66 Days	+60.00%	➡ +/-

Source: REINZ

Median Values

Figure 3 below shows the annual median selling days vs annual median value movements for a 12-month rolling period over the past 5 years for the Cromwell Ward and Queenstown Territorial Authority. Key points include;

- Median value movements have tracked more or less in sync for the two areas over the period;
- Median selling days fall significantly through 2015 in Queenstown, this was mirrored in Cromwell some 6-9 months later;
- The reduction in selling days is considered an indicator of increasing demand and market activity which in turn trigger increases the rate of median value growth in the two areas;
- Median value growth rate has remained relatively consistent for both localities since early 2016.

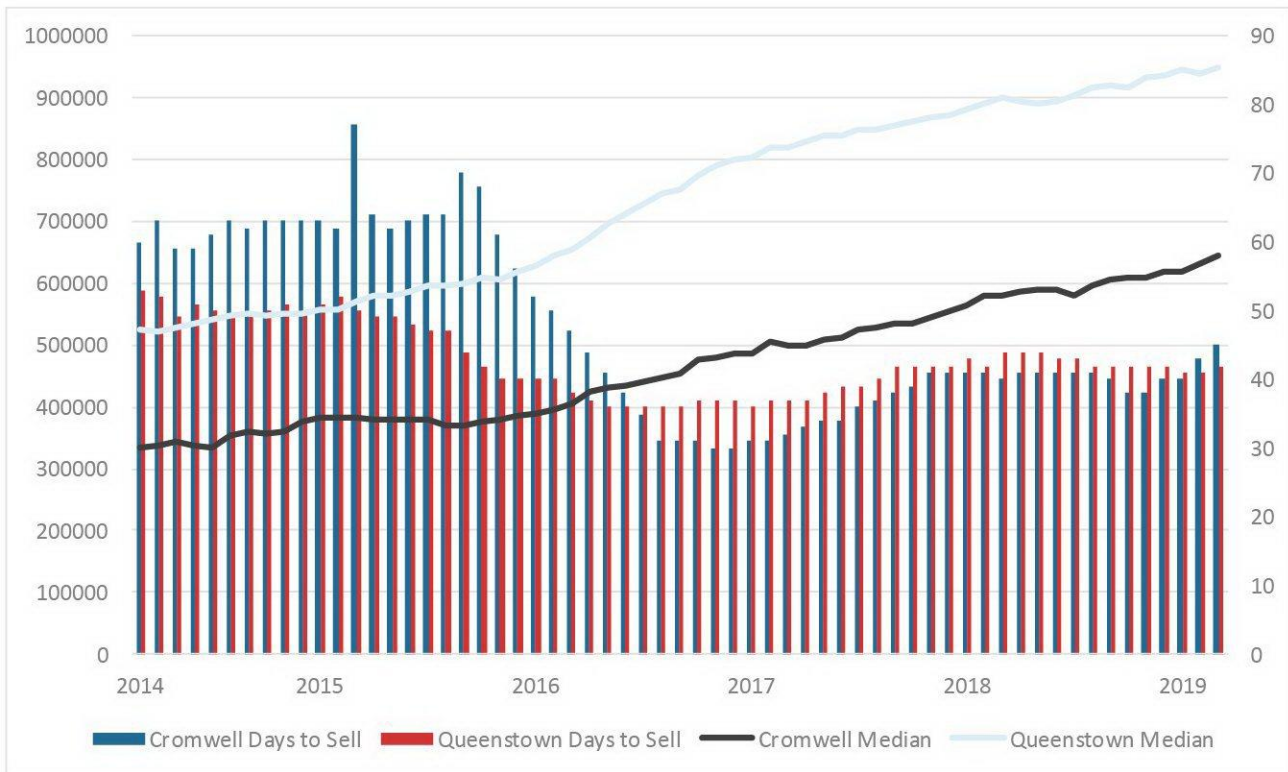


Figure 3 Median Value movement vs Selling days March 2014 to March 2019 (12 month rolling data)

Figure 4 below shows the percentage change in median value for both vacant land and improved properties since March 2016 for Cromwell, Queenstown and Wanaka. Key points include;

- Cromwell land value appreciation has been nearly double of improved median value improvements;
- Cromwell median land value up ~90% in 3 years;
- Queenstown housing and land median value growth at parity; and
- Wanaka improved median value growth far outstripping land value growth.

The significant increases in land value within Cromwell is considered to be driven by a lack of titled land supply in the face of elevated demand since 2016 illustrated in the reduction in selling days illustrated in Figure 3 above together with the affordability of land within Cromwell when measured against Queenstown and Wanaka. Further, Queenstown and Wanaka have seen lower percentage increase in land value growth in relation to the improved median movements with the Queenstown Land and Improved market growth at parity and the Wanaka land value growth being less than half of the improved market increase. Both of these localities have seen larger amounts of vacant land supply brought to market, particularly Wanaka in recent years which is considered to have contributed to the slower growth in land values.

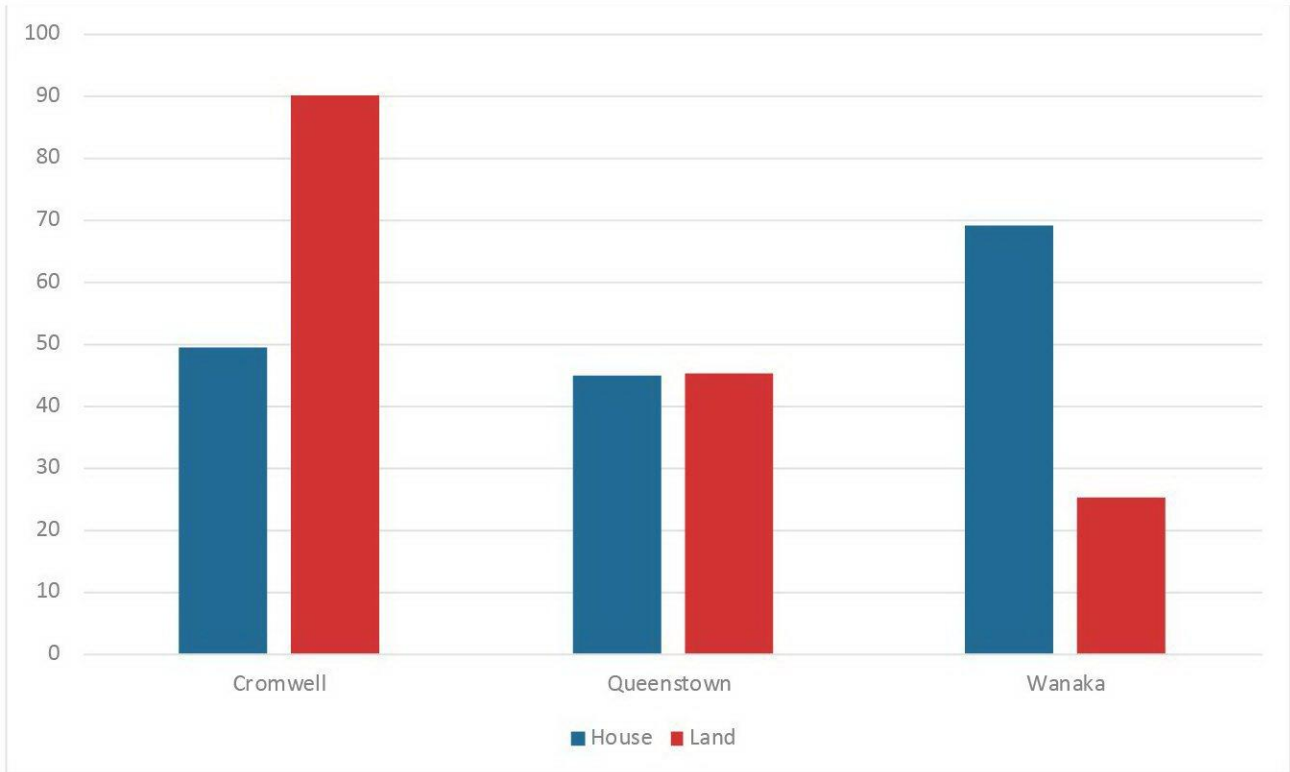


Figure 4 3yr % Change in Median Value to March 2019

Volume of Sales

The Cromwell market (both land and housing) has shown a steady annual sales rate of between 190 and 224 sales since mid-2017 with the monthly median number of sales for the past 12 months at 16 sales per month which is in line with the past 3-year median of 16 sales per month.

Figure 5 below shows the composition of the market being land sales vs improved sales. Key points include;

- Land sales volumes have shown a declining trend within Cromwell since 2016;
- Low land sale volumes are considered a function of lack of supply when considered against significant value growth over the same period noted within the above section;
- Queenstown and Wanaka have shown a general increasing trend in market share of vacant land sales due to increasing supply of vacant land since 2016 with high levels of demand though have conversely shown a lower rate of capital appreciation.

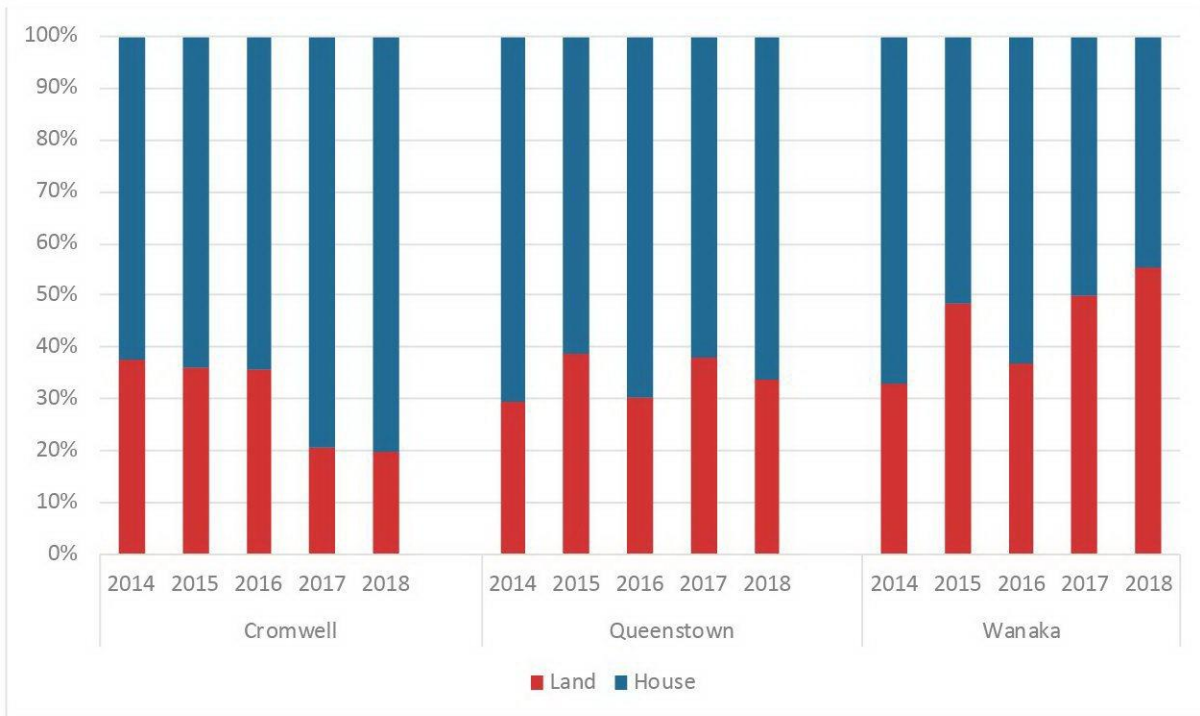


Figure 5 Market Composition House Vs Land - March 2014 to March 2019

Properties on Market

At the time of writing there is approximately 83 improved residential properties listed for sale within Cromwell (Source www.realestate.co.nz). Approximately 20% of available stock (16 properties) are priced below \$600,000. A review of the available properties indicates a lack of modern properties on offer in this price range. Affordable housing within the area is dominated by old cottage style residences which have been subdivided onto smaller land holdings. This is a result of infill development and subdivision within the central established parts of Cromwell, in particular old Cromwell town.

Lots on Market

At the time of writing there is 11 sections listed for sale within central Cromwell, 10 of which are titled and priced between \$285,000 for a 450sqm section within the Gair Avenue subdivision to \$450,000 for 994sqm section within The Dunes gated estate backing onto a Golf Course. A further 9 sections are advertised in surrounding areas including Bannockburn and Pisa Moorings at prices between \$299,000 and \$310,000 for circa 600-700sqm sections, though the majority of these are 'off the plan' and without title. (Source www.Realestate.co.nz).

12.2 Entry level Market Activity

As per our instructions we provide the below summary of entry level pricing within the nearby localities of Queenstown and Wanaka.

Queenstown

Entry level pricing for properties in Queenstown is generally above the \$600,000 price point with no freehold improved properties for sale in this price range. The properties that are available at this price point are generally stratum in freehold and of modest size/accommodation with a significant number of listings suited to investors only due to location within developments that restrict owner occupier rights to occupy.

The sub \$600,000 market listings are summarised by the below;

- 47 listings;
- Lowest priced property is \$459,000 for a one-bedroom apartment market off the plan in Frankton;
- Only 12 listings are suited to owner occupiers;
- All offerings comprise unit title apartments; and
- 10 of the 12 offerings offer one-bedroom accommodation.

Table 3 below shows the quartile spread in property for the last 12 months. Key points include;

- Wide range of sales achieved within Queenstown from \$302,000 to \$4,570,000;
- The 25th Percentile median of \$612,000 is above our assessed value range for the proposed product within Cromwell.

We note these figures below include both investor grade property and owner occupier property. Should the analysis be restricted to owner occupied property we would expect higher figures to apply in each percentile.

Table 3 Queenstown Quartile spread - 12 months to March 2019

Minimum	25th Percentile	Median	75th Percentile	Maximum
\$302,000	\$612,000	\$910,000	\$1,200,000	\$4,570,000

Source REINZ

Table 4 below shows the volume of sales and median price point for the 12 months to March 2019 for each category of accommodation. This further illustrates the lack of affordability in the Queenstown market with a median value for two-bedroom properties at \$685,000 and three-bedroom properties at \$896,000.

Table 4 Queenstown Sales and Median Price Point - 12 months to March 2019 – 1-4 bed

Queenstown	Number of sales	Median(\$)
1 bed	62	435000
2 bed	150	685000
3 bed	389	896000
4 bed	274	1200000

Wanaka

A search of properties currently marketed within Wanaka in the sub \$600,000 price point reveals limited availability of stock with no freehold properties listed on realestate.co.nz sub \$600,000.

The sub \$600,000 market listings are summarised by the below;

- Only 6 listings are suited to owner occupiers;
- Only 1 of the 6 listings is located within Wanaka with the remainder located in Albert Town;
- All offerings comprise unit title apartments; and
- All 6 offerings provide two-bedroom accommodation.

Table 5 below shows the quartile spread in property for the last 12 months. Key points include;

- A tighter range of sales achieved within Wanaka from \$302,000 to \$2,150,000;
- The 25th Percentile median of \$450,000 is above our assessed value range for the proposed product within Cromwell.

We note these figures below include both investor grade property and owner occupier property. Should the analysis be restricted to owner occupied property we would expect higher figures to apply in each percentile.

Table 5 Wanaka Quartile Spread - 12 months to March 2019

Minimum	25th Percentile	Median	75th Percentile	Maximum
\$302,000	\$450,000	\$695,000	\$1,100,000	\$2,150,000

Table 6 below shows the volume of sales and median price point for the 12 months to march for each category of accommodation. Interestingly the Median value of three-bedroom properties within the 12 months to March 2019 of \$910,000 is above the \$896,000 recorded for Queenstown over the same period, however Wanaka two-bedroom median value was \$632,000, down from \$685,000 in Queenstown.

Table 6 Wanaka Sales and Median Price Point - 12 months to March 2019 – 1-4 bed

Wanaka	Number of sales	Median (\$)
1 bed	1	575000
2 bed	24	632000
3 bed	73	910000
4 bed	81	1250000

12.3 Current asking price ranges by location

As further comparison of the entry level pricing in each of the localities Table 7 below shows the current asking prices for both vacant land and improved properties within Cromwell, Queenstown and Wanaka.

Table 7 Current Asking Prices - Vacant + Improved Properties – Cromwell, Queenstown and Wanaka

Location	Land		House	
	Low	High	Low	High
Cromwell	\$285,000	\$450,000	\$430,000	\$1,650,000
Queenstown	\$385,000	\$1,375,000	\$459,000	\$4,000,000
Wanaka	\$399,000	\$989,000	\$750,000	\$2,400,000

12.4 Entry level market summary

It is clear from an analysis of recent sales history and current marketing that Cromwell is a more affordable locality. This is to be expected when considering the type of property on offer within Cromwell town centre in comparison to the prestige properties on offer within Wanaka and Queenstown. However, when considering entry level pricing for standard housing as illustrated in the preceding section Cromwell is still considered a more affordable locality.

It is for this reason we consider market interest has been strong within Cromwell in the previous two years which is seen as a viable alternative for entry level purchasers looking to live in the Queenstown Lakes/Lower Central Otago locality. Anecdotal evidence from local Cromwell Real Estate Agents is reporting increased levels of buyer interest from Queenstown locals in the past 12-24 months with market interest focused on freehold housing types with limited interest in stratum in freehold properties and apartment style housing.

13.0 Market Evidence

The listed sales are indicative of prices being achieved within the locality. Final value is dependent upon the style, size and layout of the home, type of construction, standard of specification/finishing as well as the overall appeal, together with the location, lot size and attributes plus other associated improvements.





This sales information provides a useful comparison and has been compiled from information held in our own files and a range of other sources in the market place. We have endeavoured to cross check the authenticity and accuracy of the information including recorded building floor areas, but this has not always been possible and therefore can only be viewed as a guide.

While our valuation is based on historical sales evidence, in deriving our assessment we have also been mindful of current listings and recent market trends.





13.1 Vacant Land Sales

Address	Date	Sale Price	Land Size
5 Hosking Drive, Cromwell	March 2019	\$320,000	801sqm
Brief Description	Situated in a rear position with shared access driveway within the Gair Avenue subdivision. Sold with title available.		
19 Smitham Drive, Cromwell	March 2019	\$280,000	460sqm
Brief Description	Rectangular shaped street front section within Gair Avenue subdivision.		
12 Smitham Drive, Cromwell	February 2019	\$285,000	488sqm
Brief Description	Rectangular shaped street front section within Gair Avenue subdivision.		
Lot 42 Pisa Vineyard, Cromwell	January 2019	\$310,000	840sqm
Brief Description	Located within Stage 4 of Pisa Moorings. Off the plan purchase. Not a settled sale, Title due early 2020. Provides value indication of land removed from the Cromwell centre.		
13 Neason Place, Cromwell	December 2018	\$320,000	567sqm
Brief Description	Rectangular shaped street front section within a cul-de-sac in Gair Avenue subdivision.		
10 Caledonian Place, Cromwell	November 2018	\$295,000	681sqm
Brief Description	Located within Summerfields Estate. Slightly irregular shaped with narrowed access in cul-de-sac position. Previously sold 11 January 2016 for \$146,000 shows a 102% and increase in value.		
35a Blyth Street, Cromwell	October 2018	\$210,000	432sqm
Brief Description	Infill subdivision site in a rear position. Located within an established residential area in 'old Cromwell'.		
6 Caledonian Place, Cromwell	September 2018	\$285,000	681sqm
Brief Description	Located within Summerfields Estate. Regular shaped section though backing onto McNulty Road which carries above average traffic. Previously sold 02 February 2016 for \$151,000 shows an 89% increase in value.		
Lot 2/5 Boyne Place, Cromwell	August 2018	\$269,000	434sqm
Brief Description	Infill subdivision site in a rear position. Located within an established residential area in 'old Cromwell'. Has a net land area in the order of 375sqm after exclusion of right of way access.		

13.2 Two Bedroom Sales

Address		Sale Date	Sale Price
8C Ray Street, Cromwell 9310		February 19	\$515,000
Brief Description	<p>Comprises a newly constructed, semidetached single level residence of plaster elevations and coloursteel roof. The residence is finished to an average spec build level and offers two-bedroom, two-bathroom accommodation and an internally accessed single garage.</p> <p>Total living is reported as 101sqm apportioned as 80sqm of living and 21sqm garage.</p> <p>Situated in a rear position on a freehold section of 253 sqm though a portion of this is occupied by a shared access driveway. Located in an established area of 'old Cromwell' in proximity to the Lake.</p>		
36A Waenga Street, Cromwell 9310		January 2019	\$425,000
Brief Description	<p>Comprises a 447sqm land holding in a rear position improved with a 1940's weatherboard clad residence offering two-bedroom, one-bathroom accommodation of a reported 65sqm living area. Internally the home has a modernised kitchen though is modest in living space. Has use of a timber deck to the rear with shade sail.</p>		
41 Ray Street, Cromwell 9310		December 2018	\$450,000
Brief Description	<p>Comprises a 420sqm street front section improved with a circa 1980's roughcast plaster clad residence with corrugated metal roof offering two-bedroom, one-bathroom accommodation and approximately 80sqm of living area. The residence has dated street presentation and internally is in original condition. Provides a freestanding single garage and established gardens.</p>		
12 Waenga Drive, Cromwell 9310		November 2018	\$575,000
Brief Description	<p>Comprises a 301sqm street front allotment improved with a 2018 built single level plaster and coloursteel residence offering two-bedroom, two-bathroom accommodation and approximately 100sqm (agent advice) of living area incorporating an internally accessed single garage. The residence has been finished to a good spec level internally featuring tiled bathroom and shower, vinyl and carpet flooring and gas fire place with modest gardens externally.</p>		

13.3 Three Bedroom Sales

Address	Sale Date	Sale Price
38 Monaghan Street, Cromwell 9310	February 2019	\$450,000
<p>Brief Description Comprises a 300sqm street front section improved with a relocated weather board clad residence with corrugated metal roof offering three-bedroom, one-bathroom accommodation and 74sqm of living area. The residence has been modernised internally and externally and incorporates under floor heating to the bathroom. Externally the property offers basic street appeal with coloursteel boundary fencing, timber decking and basic gardens.</p>		
Lot 24 Gair Avenue, Cromwell 9310	December 2018	\$585,000
<p>Brief Description Comprises a 402sqm street front section improved with a recently constructed three-bedroom, two-bathroom residence offering 120sqm of living area inclusive of an internally accessed single garage. The residence has been modernised internally and externally and incorporates under floor heating to the bathroom. Externally the property offers basic street appeal with coloursteel boundary fencing, timber decking and basic gardens.</p>		
12A Waenga Drive, Cromwell 9310	November 2018	\$560,000
<p>Brief Description Comprises a 374sqm rear section improved with a fully refurbished relocated home with plaster clad elevations and coloursteel roof. The residence provides three-bedroom (two double and one single), one-bathroom accommodation and approximately 122sqm of living area inclusive of an internally accessed single garage. Internally the residence is finished to an average spec level. Externally the residence lacked soft landscaping at the date of sale though had a north facing timber deck.</p>		
10A Kerry Court, Cromwell 9310	October 2018	\$570,000
<p>Brief Description Comprises a street front section of 357sqm though is easement affected by Right of Way. Usable/unaffected land is in the order of 280sqm. Improvements comprise a newly constructed three-bedroom, one-bathroom plaster residence offering 121sqm living area incorporating a single garage under the main roof. The home offers modern fitout and street appeal though limited outdoor space.</p>		

50 Barry Avenue, Cromwell 9310

September 2018

\$580,000

Brief Description

Comprises a 320sqm street front section improved with a newly constructed single level plaster clad residence with monopitch coloursteel roof. The residence provides three-bedroom, one-bathroom accommodation and approximately 127sqm of living area inclusive of an internally accessed single garage. Internally the residence is finished to an average spec level. Externally the residence lacked soft landscaping at the date of sale though had a concrete paved rear patio.



92C Molyneux Avenue, Cromwell 9310

August 2018

\$605,000

Brief Description

Comprises a 450sqm street front land holding improved with a 2010's built single level brick clad residence with longrun coloursteel roof and providing three-bedroom, two-bathroom accommodation of 171sqm living area including an internally accessed double garage. Modest gardens and fair street presentation.



13.4 Sales Evidence Conclusions

Vacant Land

Recent vacant land sales activity within central Cromwell is dominated by sections within the Gair Avenue subdivision. This is considered to be a result of this subdivision providing the most recently marketed and titled sizable subdivision within Cromwell in the past 12 months with Stage 5 comprising 78 sections due for titling in the coming months. There has been a moderate amount of infill development within Cromwell with settled sales dominated by freehold street fronting sections such as those within the Gair Avenue Subdivision.

The analysed sales represent the following;

- Achieved values between \$210,000 and \$370,000; and
- Land areas between 430sqm and 840sqm.

The sales within the Gair Avenue and Summerfield subdivision are considered to provide a reasonable comparison to the proposed conventional lots in terms of lot sizing and value threshold. These sales transacted in a tighter range of \$280,000 and \$320,000 for sites between 460sqm and 681sqm. In considering these sales as a comparison for the subject land holdings we note by virtue of the River Terrace developments location removed from central Cromwell we anticipate a slightly lower value range to apply.

Improved Sales

Two Bedroom Sales

- Achieved values between \$425,000 and \$575,000;
- House sized between 65sqm and 100sqm; and
- Land areas between 250sqm and 450sqm.

Three Bedroom Sales

- Achieved values between \$450,000 and \$605,000;
- House sizes between 74sqm and 171sqm; and
- Land areas between 300sqm and 450sqm.

Residential development trends within Cromwell have seen a reduction in both land area and house size. This is considered to be in response to affordability issues which are widely publicised within the wider area. The sales evidence analysed confirms Cromwell has an established market of modern housing located on smaller land holdings.

Historic sales activity of smaller housing and sections was dominated by infill subdivision sites improved with relocated/older style housing. In the past 12-24 months the prevalence of modern two-bedroom housing has increased with sales activity of this form of property increasing.

Whilst this is the case in general terms the proposed development represents smaller properties both in terms of housing and land area than the majority of recent market activity and in this sense is a somewhat untested product. This, together with the location of the proposed development is considered to position the proposed product at the very low end of current sales activity.

Whilst this is the case, we consider the value level achievable by the proposed to be buoyed by modern design and desirable street appeal and benefit of position within a master planned estate surrounded by quality housing and development with attractive landscaped greenways etc. As a result, we consider the proposed product will be positioned at the entry level price point for newly constructed housing within Cromwell, albeit only slightly lower than existing price points achieved by older housing stock.

14.0 Indicative Market Value Ranges

We have been provided limited information regarding the proposed development or product type and this advice is provided from a broad high level only based on the information provided.

In arriving at our opinion of market value we have used the Direct Comparison Approach where a comparison is made of the subject property with other similar properties within the general locality where the characteristics, benefits and restrictions of the comparable properties as well as the conditions under which they were transacted are noted and appropriate adjustments made.

It must be noted our assessed values are not reflective of individual values of specific properties, rather, they reflect an approximate value range for the proposed housing type within the locality noted and should be treated as indicative.

Conventional Lots

We have assumed any proposed lot will provide a 'standard' vacant residential lot finished with suitable soils to accommodate residential construction and contained within an unencumbered Record of Title similar to properties currently being marketed for sale within Cromwell.

Given the scale and location of the development it is expected that some sections may achieve more desirable positioning such as rural or open space aspect depending on orientation and location within the development. As a result, we have applied a value range within our indicative assessment of each proposed product type. From a very high-level analysis we consider lots benefitting from the above would achieve towards the upper end of our analysed range though individual 'premiums' would depend on aspect, frontage and location and as such until more formal development plans become available we have adopted the more general price range noted within our assessment.

Modern and River Terrace Homes

In order to provide an indicative value, we have had regard to the proposed building plans and 'standard' specification as summarised within Section 9 of this report. Given the broad scope of proposed residential construction we have assessed a market value range.

In conducting our assessment of the proposed product types, we have had particular regard to the following;

- Location within a semi-rural locality with good sun benefit and proximity though removed from Cromwell Town Centre;

- Proximity to Highlands Motorsports Park and subject to noise associated with motorsports activities at times;
- Proposed land areas and density;
- Proposed specification and design;
- Market sales evidence;
- Limited competing supply of similar modern product at this price point; and
- Current market conditions.

Indicative Market Value Ranges

Lot Type	Lot Size	Residence	Market Value Range
Conventional Lots	550 sqm	-	\$270,000 to \$300,000
Modern Home	200 sqm	90 sqm	\$450,000 to \$500,000
River Terrace Home	300 sqm	140 sqm	\$525,000 to \$575,000

The assessments herein are inclusive of GST, if any.

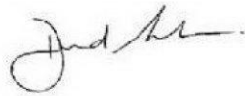
15.0 Valuation

15.1 Indicative Market Value Ranges – As If Complete

Conventional Lots (Land only)	\$270,000 to \$300,000
Modern Home	\$450,000 to \$500,000
River Terrace Home	\$525,000 to \$575,000

Interest Valued	Fee simple subject to vacant possession
Date of Inspection	13 April 2019
Date of Valuation	13 April 2019
Date Issued	23 April 2019

Signatories



David Tristram
Associate Director
Registered Valuer, BComm (Property)
NZIV 3810
Inspecting Valuer

Important

This valuation is subject to the definitions, qualifications and disclaimers and other comments contained within this report.

16.0 Assumptions, Conditions and Limitations

Professional Indemnity Insurance	<i>We certify that Opteon New Zealand hold current professional indemnity insurance that covers all valuers employed and contracted to undertake work for and on behalf of Opteon New Zealand.</i>
Annual Practising Certificate	<i>All Registered Valuers signing the Valuation Report hold an Annual Practising Certificate.</i>
Condition/Structural Disclaimer	<i>This report is not a condition or structural survey and no advice is given in any way relating to condition or structural matters. Any opinion given as to the condition of the structure or improvements on the property is not given in the capacity as an expert. A condition or structural report on the building and/or its plant and equipment has not been sighted, and nor have we inspected unexposed or inaccessible portions of the premises. Therefore we cannot comment on the structural integrity, any defects, rot or infestation (or damage from pest infestation) of the improvements, any use of asbestos or other materials now considered hazardous or areas of non-compliance with the Building Code of New Zealand, other than matters which are obvious and which are noted within this report. This valuation assumes the building is structurally sound; that building services are adequate and appropriately maintained; the building complies with applicable Council, building, fire, health and/or safety regulations, laws, rules, licences, permits, rulings and/or bylaws; and is free of asbestos or other defects, unless specified otherwise. Should an expert's report establish that there are any defects of this kind then we reserve the right to review this valuation.</i>
Digital Copies of Reports	<i>Where a report has been provided in digital copy and has not been received directly via our firm, the report contents, especially the valuations and critical assumptions, should be verified by contacting the issuing office to ensure the contents are bona fide. In particular if the reader of this report has suspicions that the report appears to be tampered or altered then we recommend the reader contact the issuing office.</i>
Environmental Disclaimer	<i>This report is not an environmental audit and no advice is given in any way relating to environmental matters. Any comment given as to environmental factors in relation to the property are not given in the capacity as an expert. This assessment of value (unless specified otherwise) is made on the basis that the property is free of contamination or environmental issues affecting the property not made known to the valuer. In the event the property is found to contain contamination the matter should be referred to this office for comment. Given contamination issues can have a significant impact on the Market Value of the property, we reserve the right to review and if necessary vary our valuation if any contamination or other environmental hazard is found to exist.</i>
Full Disclosure Disclaimer	<i>Whilst we have attempted to confirm the veracity of information supplied, the scope of work did not extend to verification of all information supplied or due diligence. Our valuation and report has been prepared on the assumption the instructions and information supplied has been provided in good faith, is not in any way misleading or deceptive, contains a full disclosure of all information that is relevant, and that there are no undisclosed agreements in place that affect the property. The valuer and valuation firm does not accept any responsibility or liability whatsoever in the event the valuer has been provided with insufficient, false or misleading information.</i>
Future Value	<i>Any comments are made in relation to future values are based on general knowledge and information currently available. These comments should not be construed as a prediction of future value levels or a warranty of future performance as the property market is susceptible to potential rapid and unexpected change caused by multiple factors. Ultimately current expectations as to trends in property values may not prove to be accurate. Due to possible changes in the property market, economic conditions, occupancy status and property specific factors, we recommend the value of the property be reassessed at regular intervals.</i>
Geotechnical Assumption	<i>We have not sighted a geotechnical engineers' survey of the property. We are not experts in the field of civil or geotechnical engineering and we are therefore unable to comment as to the geotechnical integrity of the ground and soil conditions. It is specifically assumed that there are no adverse geotechnical conditions that compromise the utility of the property for the current or highest and best use. In the event there is found to be adverse ground conditions we recommend the matter be referred to this Company for comment.</i>
GST	<i>Unless otherwise stated in the report, valuations for residential properties are undertaken on a GST inclusive basis, if any is payable. If there is a transaction, the client should verify the GST position of the parties involved. If there is any doubt with regard to GST and tax liability, the client should seek further independent advice.</i>
Heritage Disclaimer	<i>Our valuation has been assessed having regard to the nature of any buildings on the property and any known heritage listings. However we have not obtained formal confirmation of heritage listings beyond what is available in the public domain and identified in this report. Our valuation assumes, unless otherwise specified, that any heritage issues (including Aboriginal) do not impact on the continued and/or highest and best use of the property. If there is doubt in relation to such issues we recommend written application be made to the relevant authorities.</i>
Inconsistencies in Assumptions	<i>If there is found to be any variance, inconsistency or contradiction in any of the above assumptions then there may be a variation in the valuation assessed.</i>

Information Availability (Market Evidence)	<p><i>In preparing this valuation we have undertaken those investigations reasonably expected of a professional valuer having regard to normal industry practice so as to obtain the most relevant, available, comparable market evidence. Whilst we believe the market evidence information and any other information provided to be accurate, not all details can and have been formally verified. Due to privacy laws, confidentiality agreements and other circumstances beyond our control, the valuer may not have had access to: personal details of parties involved in transactions (including the relationship of the parties); information on recent transactions that are yet to become public knowledge; and copies of leases or contracts to confirm rents or prices and to ascertain whether or not rents or prices are inclusive or exclusive of GST.</i></p>
Land and Building Area Disclaimer	<p><i>In the event actual surveyed areas of the property are different to the areas adopted in this valuation the survey should be referred to the valuer for comment on any valuation implications. We reserve the right to amend our valuation in the event that a formal survey of areas differs from those detailed in this report.</i></p>
Market Change Disclaimer	<p><i>This valuation is current as at the Date of Valuation only. The value assessed herein may change significantly and unexpectedly over a relatively short period (including as a result of general market movements or factors specific to the particular property). We do not accept liability for losses arising from such subsequent changes in value. Where the valuation is being relied upon for mortgage purposes, without limiting the generality of the above comment, we do not assume any responsibility or accept any liability where this valuation is relied upon after the expiration of 90 days from the date of the valuation, or such earlier date if you become aware of any factors that have any effect on the valuation. We recommend the valuation be reviewed at regular intervals.</i></p>
Market Value	<p><i>The estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing and where the parties had each acted knowledgeably, prudently and without compulsion.</i></p>
Market Value As If Complete	<p><i>“Market Value As If Complete” means a valuation that assumes the proposed development work is already complete at the Date of Valuation and reflects the market at the Date of Valuation.</i></p> <p><i>The As If Complete valuation is based on the plans and specifications having regard to the market at the Date of Valuation.</i></p> <p><i>The As If Complete valuation does not purport to predict the market conditions and value at the actual (ie future) completion of the improvements.</i></p> <p><i>The As If Complete valuation should be confirmed by a further inspection by the Valuer on completion of the improvements. The Valuer reserves the right to review and if necessary vary the valuation in this report if there are any changes in relation to the project itself or in market conditions and prices.</i></p> <p><i>The As If Complete valuation is subject to the following specific assumptions:</i></p> <ul style="list-style-type: none"> • <i>Satisfactory completion of the improvements in accordance with the plans, specifications, cost estimates and details provided;</i> • <i>An inspection by the Valuer following practical completion of the construction;</i> • <i>Confirmation or variation of the original valuation figure relevant to the original valuation date following an inspection of the project and any leases after practical completion;</i> • <i>Issue of all relevant approvals including a satisfactory building completion certificate under the appropriate legislation;</i> • <i>Sighting of any reports from other experts who have provided a advice in aspects of the construction of the building(s);</i> • <i>The right to review and if necessary vary the valuation if there are changes in the project design, specification or proposed leases (if applicable); and</i> • <i>Issue of an unencumbered Certificate of Title, if applicable.</i> <p><i>It is recommended that expert advice from quantity surveyors or engineers be obtained if considered necessary in relation to the construction specifications and costs to ensure the proposal comprehensively covers the proposed specification, scope of works, and that the estimated construction cost is sufficient to complete the project.</i></p>
Planning Disclaimer	<p><i>Town planning and zoning information was informally obtained from the relevant local Government authorities and is assumed to be correct. This information does not constitute a formal zoning certificate. Should the addressee require formal confirmation of planning issues then we recommend written application be made to the relevant authorities to obtain appropriate current zoning certificates.</i></p>
Professional Standards	<p><i>Our valuation has been assessed in accordance with applicable International Valuation Applications and Technical Information Papers of the International Valuation Standards Committee.</i></p>
Publication of Report	<p><i>The publication of the valuation or report in whole or any part, or any reference thereto, or the names and professional affiliations of the valuers is prohibited without the prior written approval of the valuer as to the form and context in which it is to appear.</i></p>

Reliance on Whole Report	<i>This valuation should be read in its entirety, inclusive of any summary and annexures. The valuer and valuation firm does not accept any responsibility where part of this report has been relied upon without reference to the full context of the valuation report.</i>
Scope of Work Undertaken	<p><i>The scope of work undertaken by the valuer in completing the valuation has included:</i></p> <ul style="list-style-type: none"> • <i>Collation of information from relevant parties regarding the subject property;</i> • <i>Undertaking our own research regarding the subject property;</i> • <i>An inspection of the property and measurement of buildings where required;</i> • <i>Undertaking market research in terms of values and/or costs of similar properties;</i> • <i>Preparation of valuation calculations; and</i> • <i>Preparation of this report.</i>
Site Survey Disclaimer	<i>This report is not a site survey and no advice is given in any way relating to survey matters. Any comments given in relation to the property are not given in the capacity as an expert, however, are based on our inspection of the property and review of the Record of Title plans. Should the addressee require absolute certainty in relation to site area, dimensions or possible encroachments we recommend that a surveyor be engaged to provide appropriate advice and a survey of the property if considered necessary. In the event there are any fundamental inconsistencies between any site survey undertaken and site detail adopted in this valuation, the survey should be referred to the valuer for comment on any valuation implications (including amendment of our valuation if considered necessary).</i>
Third Party Disclaimer	<i>This report has been prepared for the private and confidential use of our client, River Terrace Developments Limited for the specified purpose. It should not be reproduced in whole or part; or any reference thereto; or to the valuation figures contained herein; or to the names and professional affiliation of the Valuer(s) without the express written authority of Opteon New Zealand Limited or relied upon by any other party for any purpose and the valuer shall not have any liability to any party who does so. Our warning is registered here, that any party, other than those specifically named in this paragraph should obtain their own valuation before acting in any way in respect of the subject property.</i>
Title Assumption	<i>Our valuation assumes the property would be offered for sale subject to Registered Interests noted on the Title but otherwise unencumbered by mortgages, caveats, or priority notices etc which would prevent transfer of the property.</i>
Unregistered Instruments	<i>If there are any encumbrances, encroachments, restrictions, leases or covenants which are not noted in this report, they may affect the assessment of value. If any such matters are known or discovered, we should be advised and asked as to whether they affect our assessment of value.</i>

APPENDIX 1

INSTRUCTIONS

David Tristram

From: Chris Meehan <chris.meehan@winton.nz>
Sent: Thursday, 18 April 2019 2:20 PM
To: David Tristram
Subject: Re: River Terrace

All accepted.

Thanks David.

Cheers,
Chris.

Chris Meehan
CEO

WINTON

www.winton.nz

Auckland

Level 4, [10 Viaduct Harbour Avenue](#)

[Auckland 1010](#)

[PO Box 105526, Auckland 1143](#)

M: [+64 21 744 483](tel:+6421744483)

T: [+64 9 377 7003](tel:+6493777003)

On 18 Apr 2019, at 1:59 pm, David Tristram <david.tristram@opteonsolutions.com> wrote:

Good Afternoon Chris,

Can you please come back to me with your acceptance/otherwise on the below as we need to retain records on the scope and instructions for Expert Witness work.

I have been liaising with Warwick Goldsmith regarding delivery on the report which should be ready tomorrow.

Thanks

Kind regards,

David Tristram | Registered Valuer, BComm (Property)
Associate Director



M. +64 27 700 0068

E. david.tristram@opteonsolutions.com

A. PO Box 91109, Wakatipu, Queenstown 9349 New Zealand

<telephone-icon_57f3ce62-
b195-41fc-a762-

6714a161a80511111111111111111111.JPG>

**0800 40 50
62**



OPTEONSOLUTIONS.COM

This e-mail message and any attachments to it are confidential and should only be read by those persons to whom this e-mail message is addressed. This e-mail and any attachments to it may contain copyright, personal or legally privileged information. If you are not the intended recipient, any use, dissemination, copying, or disclosure of this information is strictly prohibited. If you have received this email in error, please immediately notify the sender by return e-mail and delete the original message and any copies. Any confidentiality, privilege or copyright is not waived or lost because this e-mail has been sent to you in error. Any views expressed in this e-mail are the views of the individual sender, except where specifically stated to be the views of Opteon. E-mail is not secure and transmissions can be corrupted. Opteon accepts no liability for any damage that may occur as a result of the transmission of this e-mail or any attachments to it to the recipient.

Please consider the environment before printing

From: David Tristram
Sent: Thursday, 11 April 2019 10:37 AM
To: Chris Meehan <chris.meehan@winton.nz>
Subject: RE: River Terrace

Hello Chris

Thank you for your valuation request. I have discussed the scope requirement with Warwick and summarised below.

In order to comply with International Valuation Standards we are now required to complete a terms of engagement and scope of works for all our services. To comply with this requirement, we would appreciate if you could review the following information including client details for billing purposes.

Please email back you confirmation to proceed.

Should you require any further advice or information please don't hesitate to contact me via email or phone.

Kind Regards,

David Tristram
Registered Valuer for Opteon New Zealand Limited
Ph 027 700 0068

Instruction Details & Terms of Engagement

Address of Property	- River Terrace Estate Cromwell
Valuation Basis	- Advisory Report
Purpose	- Expert Witness and should not be relied upon for any other purpose
Scope	- The service requested is an Advisory Style Report to include the following; <ol style="list-style-type: none">1. Indicative Market Value – 'As If Complete' of the proposed product to be offered within River Terrace2. Current Market Snapshot for Cromwell, Wanaka and Queenstown broken into relevant suburb/locality<ol style="list-style-type: none">a. Recent market trends;b. Available stock volume and pricing;3. Discussion on where the proposed product sits within the context of the above.
Instructor Name	- Chris Meehan
Instructors Address	- chris.meehan@winton.nz
Clients Name & Ph	- Chris Meehan Ph +64 9 377 7003
Address Report to	- Winton Partners
Delivery Instruction	- Email PDF to Instructor.
Payment Basis	- Payment required prior to completion & delivery of report
Opteon Fee	- \$3,478 +GST, a total of \$4,000 incl GST The fee only extends to preparing the valuation report and any additional time requirements (extends to but not including an hourly rate being \$250.00 inclusive of GST.

Fee Basis

The fee estimate is based upon information provided and does not include the cost of work or disbursements associated with unforeseen circumstances such as property or lease defects etc, if any. The estimate includes travel and a single Title search. All additional searches and disbursements such as Council fees and other reasonable expenses, incurred by us in the provision of our valuation services shall be an extra charge.

Payment is required prior to the Valuation being completed and delivered

An invoice for the valuation will be emailed to the client when the instruction is confirmed. When full payment is received and our work complete the valuation will be emailed/delivered as per the instructions above. Payment options include Visa/Mastercard which can be done over the phone with our receptionist. Alternatively, our bank account details for payment on line are as follows:

06-0273-0093695-03

Please quote the property address or invoice reference with payment.

Instructors Acknowledgement

By engaging our services, you confirm for and on behalf of the Client the above instructions and agreement with these terms of engagement and scope of works. Our services under this contract are supplied for business purposes in accordance with the Consumer Guarantees Act 1993.

Opteon New Zealand Limited and the client agree that Opteon New Zealand Limited shall provide valuation services in respect of the property or properties described above subject to the terms outlined herein. Except to the extent that we otherwise agree with you in writing these terms shall apply to any future work, whether or not we send you another copy of them.

Use, Purpose & Liability

1. The report will be provided solely for the use of the party to whom the report is addressed. We do not accept responsibility to any other party.
2. Unless stated otherwise, all reports and valuation services will be completed for the stated purpose alone. We do not accept responsibility should the services or report be used for any other purpose.
3. We do not purport to provide a site or structural survey, environment audit or cultural heritage audit in respect of the property/properties to be valued, neither do we purport to be suitably qualified to provide professional advice in respect of services, contamination, earthquake resistance or weathertightness.
4. Valuation and consultancy services are provided on the basis that the Client shall, free of cost provide us with a full and frank disclosure of all information and other facts which may affect the valuation. We accept no responsibility or liability whatsoever for the valuation unless such a full disclosure has been made.
5. In preparing the report, the Firm shall exercise the degree of skill, care and diligence normally expected of a competent professional. Whilst every effort will be made to ensure the accuracy of the opinions, information and forecasts expressed in the report, no liability is accepted for any incorrect statement, information or forecast within.
6. Notwithstanding any other provisions of this agreement the maximum aggregate amount payable by this firm in relation to claims, liabilities, damages or losses (in contract or otherwise, including negligence) in any way connected with the service or project is limited to five times the value of the fees (exclusive of GST). Liability is restricted to direct loss or damage. We shall not be liable for any consequential or special loss, or loss of profit, however arising, whether under contract, in tort or otherwise.
7. Unless otherwise stated, the effective date of the valuation will be the date of the inspection of the property. This valuation is current as at the date of valuation only. As values may change significantly and unexpectedly over a relatively short period (including as a result of general market movements or factors specific to the particular property) we do not accept liability for losses arising from such subsequent changes

in value. Without limiting the generality of the above comment, we do not assume any responsibility or accept any liability where this valuation is relied upon after the expiration of 90 days from the date of the valuation, or such earlier date if you become aware of any factors that have any effect on the valuation. We are unable to readdress/redirect the valuation after this timeframe.

Scope of Work

8. The valuation will be completed or countersigned by a registered valuer from Opteon competent to undertake the assignment, who will provide an objective and unbiased valuation. The Valuer has no material connection or involvement with the subject of the valuation or the party commissioning the valuation that has not been disclosed.

9. The report will be provided in a format suitable for the purpose requested and in accordance with current IVS, NZIV and PINZ standards unless specifically requested otherwise. Where a certificate, consultation or abbreviated report has been requested the report will not comply with all the standards as key inputs, reasoning and other supporting information may be excluded from the report or abridged at the valuers sole discretion. Should the Instructor require further information subsequent to completion of the report this would be available subject to payment of a fee calculated on a time and attendance plus disbursements basis.

10. The Valuer will adhere to accepted best practice in carrying out the inspection of the property, recording data and undertaking market research commensurate with the type of valuation assignment being undertaken. This does not include a search of Council records unless specifically requested.

11. The Valuer may be required to make assumptions through restrictions on inspection, unavailability of data or information. The Valuer will rely upon information supplied by the client, instructor or other parties and is not required to independently verify the accuracy of this information. If the Valuer relies upon information supplied by other parties or is required to make any assumptions, these will be clearly stated in the report.

Republication

12. Neither the whole nor any part of any valuation report, or any reference to the same, may be included in any published document, circular or statement without our prior written approval as to the form and context in which it may appear.

13. All opinions of value expressed by Opteon New Zealand Limited or its employees are subject to our Statement of Valuation Policies and any conditions contained in our written report.

Fees, Disbursements & Interest

14. All accounts are payable prior to or upon collection of the report. Until payment is completed, the instructor remains liable for full payment together with interest at the rate of 1.5% per calendar month from the due date plus all debt collection costs. We reserve the right to submit interim invoices for valuation services where it is considered necessary to do so.

15. Any quotation/estimate for the provision of valuation services is valid for ten (10) working days from the date of issue.

Privacy Act & Intellectual Property

16. Any personal information collected and held by us will be used for purposes related to servicing your needs in respect of valuation or property services. Under the Privacy Act you have the right of access to and correction of personal information about you that we hold.

17. Intellectual property prepared or created by Opteon in carrying out the Services ("New Intellectual Property") shall be jointly owned by the Client and Opteon. The Client and Opteon hereby grant to the other an unrestricted royalty-free license in perpetuity to copy or use New intellectual property. Intellectual property owned by a Party prior to the commencement of this Agreement and intellectual property created by a Party independently of this Agreement remains the property of that Party. The ownership of data and factual information collected by Opteon and paid for by the Client shall, after payment by the Client, lie with

APPENDIX 2

RIVER TERRACE DESIGN REPORT - PREPARED BY JASMAX

RIVER TERRACE Design Report

RIVER
TERRACES
DEVELOPMENT
LTD.

217143 | DECEMBER 2017 | REVISION E

ARCHITECTS | INTERIOR DESIGNERS | LANDSCAPE ARCHITECTS | URBAN DESIGNERS

Jasmax

REVISION HISTORY

REVISION	DATE	DESCRIPTION
A	23 October 2017	1st DRAFT
B	16th November 2017	2nd DRAFT
C	27th November 2017	3rd DRAFT
D	30th November 2017	4th DRAFT
E	07 December 2017	5th DRAFT

CONTENTS

INTRODUCTION

PURPOSE OF THIS DOCUMENT6

SITE LOCATION AND SUMMARY OF PROPOSAL.....7

PROJECT VISION AND OBJECTIVES

OUR APPROACH.....9

VISION10

ASPIRATIONS AND AVERSIONS.....10

QUALITY COMPACT DEVELOPMENT OPPORTUNITIES14

DESIGN VISION STATEMENT15

SITE ANALYSIS

UNDERSTANDING OUR CONTEXT17

REGIONAL CONTEXT18

LOCAL CONTEXT19

AMENITY.....19

NATURAL VERNACULAR.....20

BUILT VERNACULAR.....21

SITE CONTEXT22

PROJECT SITE — LANDFORM AND VEGETATION..23

PROJECT SITE — EXISTING MOVEMENT AND ACCESS..24

SUMMARY25

MASTERPLAN CONCEPT

DESIGN HIERARCHY.....27

HOME.....28

CHOICE.....29

CLUSTER.....30

COMMUNITY31

LANDSCAPE STRATEGY.....32

INDICATIVE OPEN SPACE TYPOLOGIES34

GREENWAYS.....35

LANES.....36

SUBURBAN PARK.....37

SCHOOL OPPORTUNITY.....38

SCHOOL STUDY39

RETIREMENT LIVING41

RETIREMENT LIVING STUDY42

NEIGHBOURHOOD CENTRE43

STREET HIERARCHY44

CONTENTS CONT'D

VISUALISATIONS

INDICATIVE MASTERPLAN	47
CLUSTER.....	48
HOME ZONE.....	49
GREENWAY	50
GREENWAY CROSSING	51
SHARED PATH	52
SUBURBAN PARK.....	53

APPENDICES:

STRUCTURE PLAN

STRUCTURE PLAN.....	56
MOVEMENT PLAN	57
DEVELOPMENT PARCEL PLAN	58
ROAD TYPE CROSS SECTIONS.....	59
ROAD A.....	60
ROAD B.....	61
ROAD C.....	62
GREENWAYS.....	63

ILLUSTRATIVE MASTERPLAN

ILLUSTRATIVE MASTERPLAN	65
-------------------------------	----

INTRODUCTION



PURPOSE OF THIS DOCUMENT

This document has been prepared by Jasmax on behalf of River Terrace Developments Ltd (RTDL), for the land known as "River Terrace".

River Terrace is an area of land of 49 hectares and is located to the south-west of Cromwell Town Centre, bordering Kawarau Gorge Road / State Highway 6 and accessed from Sandflat Road.

The land is currently zoned as Rural Residential and Rural.

This document forms a Design Report to supplement the request for a private Plan Change from Rural Residential and Rural to a new zone called "River Terrace Resource Area".

It is proposed that this River Terrace Resource Area is to be comprehensively developed for urban activities including medium- and higher-density residential, retirement living, a small neighbourhood centre, and a possible school, with an associated open space network, walkways, roading and infrastructure.

The Design Report describes the rationale behind this development proposal, using images and words to illustrate how the proposed development responds to the opportunities and constraints of the site and the surrounding area. It presents the analysis and thinking behind the design of the proposed development.

In this case, the "proposed development" is a re-zoning of land, with an accompanying Structure Plan which illustrates a number of important structural elements. Namely:

- + The location and type of streets and other elements of the movement network
- + The size and location of open space
- + The location of critical infrastructure elements

This proposal does not include detail on elements such as the size and location of buildings, nor the detailed design of open spaces.

SITE LOCATION AND SUMMARY OF PROPOSAL

The site is located approximately 3.5km to the south-west of Cromwell Town Centre, bordering Kawarau Gorge Road and accessed from Sandflat Road.

The site:

- + 49 hectares
- + Currently zoned Rural Residential and Rural

The proposal involves:

- + Re-zoning to enable residential development of the site
- + 840 residential units including:
 - A range of lot sizes, including smaller lots to assist in providing affordable housing;
 - Retirement living component;
- + Supporting services amenities including:
 - Integrated open space network;
 - Small neighbourhood centre;
 - Potential for future education provision (primary school).



PROJECT VISION AND OBJECTIVES



OUR APPROACH

When resolving design solutions, our project team follows a design approach of reconciliation over compromise.

Typical design progressions can follow a pattern whereby a design exercise is commenced, constraints are encountered, and designs are then compromised or pulled back to limit the effect of the constraints at play.

Our approach involves identifying a need (a design driver), recognising the associated constraints, and then reconciling the design with those constraints in order to leverage an improved outcome.

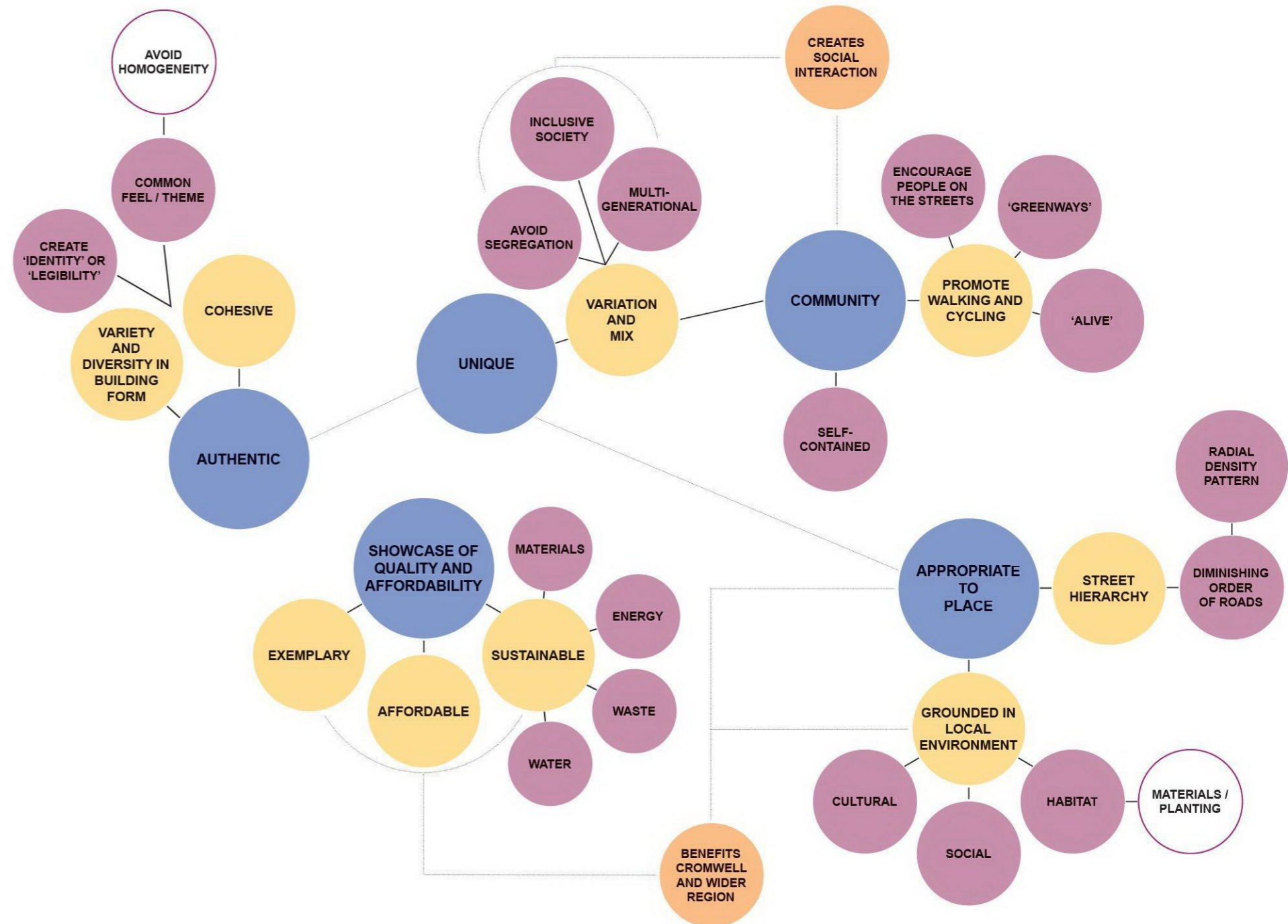
The adjacent diagram demonstrates the relevant factors at play within the River Terrace project design process.



VISION

In the early stages of the project, the project design team engaged in a workshop with the objective of defining the measure of a successful project.

The adjacent 'principles' were mapped and used to shape a design Vision Statement which was to act as an agreed guide and compass for the project moving forward.



ASPIRATIONS AND AVERSIONS

If the key-word 'principles' represents the intangible aspirations for the project, then a complementary set of tangible design outcomes was also compiled against a list of features of the proposed development.

This was done in order that a consensus on design outcomes could be understood and agreed upon by all members of the design team.

The following precedents catalogue an agreed aspirational benchmark for design standards.

Similarly, a set of potential negative design outcomes have been categorised to act as a flag or warning of outcomes to avoid.

ASPIRATIONS



SITES & CHOICE

- + Densities
- + Affordability
- + House and land



DESIGN QUALITY

- + Reflects vernacular
- + References site
- + Simple forms
- + Complementary colour palette
- + Rich textures

ROADS & STREETS

- + Hierarchical
- + Pedestrian / cycle friendly
- + Home zones
- + Planted
- + Low impact design
- + Human-scaled



ASPIRATIONS



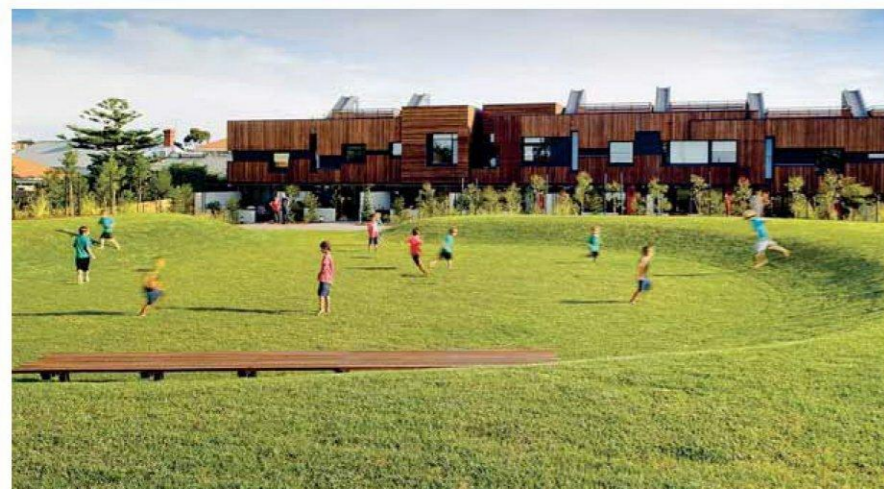
OPEN SPACES

- + Thoughtfully located
- + Low impact design
- + Well surveilled
- + Reflects local ecology / vernacular
- + Productive
- + Provide variety and choice



NEIGHBOURHOOD CENTRE

- + Street-based
- + Pedestrian focussed
- + Supports retirement village
- + Community facilities



RETIREMENT VILLAGE

- + Integrated
- + Small-scale



AVERSIONS

DON'T 



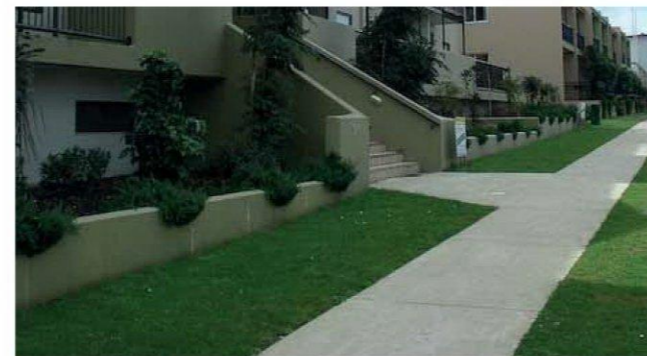
ROADS & STREETS

- + Engineer standard driven
- + High-speed
- + Culs-de-sac
- + Un-planted



DESIGN QUALITY

- + Repetitive
- + Monotonous
- + Shallow pitched
- + 'Anyplace'
- + Unvaried colour palette
- + Drab



OPEN SPACES

- + Planting irrelevant to site
- + High-maintenance
- + Manicured
- + Narrow / unsafe

RETIREMENT VILLAGE

- + Gated
- + Separate
- + Multi-storey



NEIGHBOURHOOD CENTRE

- + Car-based
- + Car parks at front



QUALITY COMPACT DEVELOPMENT OPPORTUNITIES

With land cost being a significant factor in sale price, RTDL has recognised that reducing lot sizes is a simple and effective mechanism to improve housing affordability.

While the district plan permits lot sizes of 250m² or greater, typical development patterns in the area reflect comparatively large individual lots (e.g. 700 sqm up to lifestyle block). The River Terrace design proposes a range of higher density, smaller lots, with associated homes carefully designed to suit.

The design team understands the risks of creating density by simply reducing lot sizes without careful master-planning. Rather, in the spirit of reconciling over compromising, we recognise that when carefully planned and complemented with associated social and built infrastructure (open spaces, community facilities), higher density living solutions can become *quality compact developments*.

When increasing density thoughtfully, multiple benefits can be leveraged from which the future community can prosper.

As the adjacent diagram explains, Quality Compact Development can:



FOSTER COMMUNITIES

- + Shared amenity
- + Boundary conditions and home zones that encourage neighbourhood interaction
- + Variety of high quality open space opportunities
- + Diversity of housing choice



IMPROVE SUSTAINABILITY

- + Increased biodiversity
- + Productive landscapes
- + Encourage walking and cycling for local trips
- + Minimise impervious surfacing and maximise open space opportunities
- + Effective solar orientation



IMPROVE PHYSICAL AND MENTAL WELLBEING

- + Safe walking and cycling connectivity
- + Slow-speed safe streets
- + Reduction of crime through eyes on the street
- + Variety of recreation opportunities



ENABLE AFFORDABILITY

- + Compact infrastructure
- + Reduced lot size
- + Strategic project site location
- + Choice of housing types

DESIGN VISION STATEMENT

Establishing objectives and a vision for the River Terrace project has culminated in these three key Vision Statements which have guided our designs to date, and will do so for subsequent stakeholder, consultant and Territorial authority engagement for the life of the project.

This development will create a **high-quality**, unique and authentic residential community that is relevant and responsive to the local economic, social, and environmental context.

The project will be a show-case of **affordable** development, providing inclusive housing options and associated infrastructure to accommodate the diverse and growing population.

Grounded in place, it delivers a broad range of benefits to both the Cromwell basin and wider Central Otago and Queenstown Lakes region.

INVERCARGILL

OAMARU
MT COOK

TE ANAU

HAAST

CHRISTCHURCH

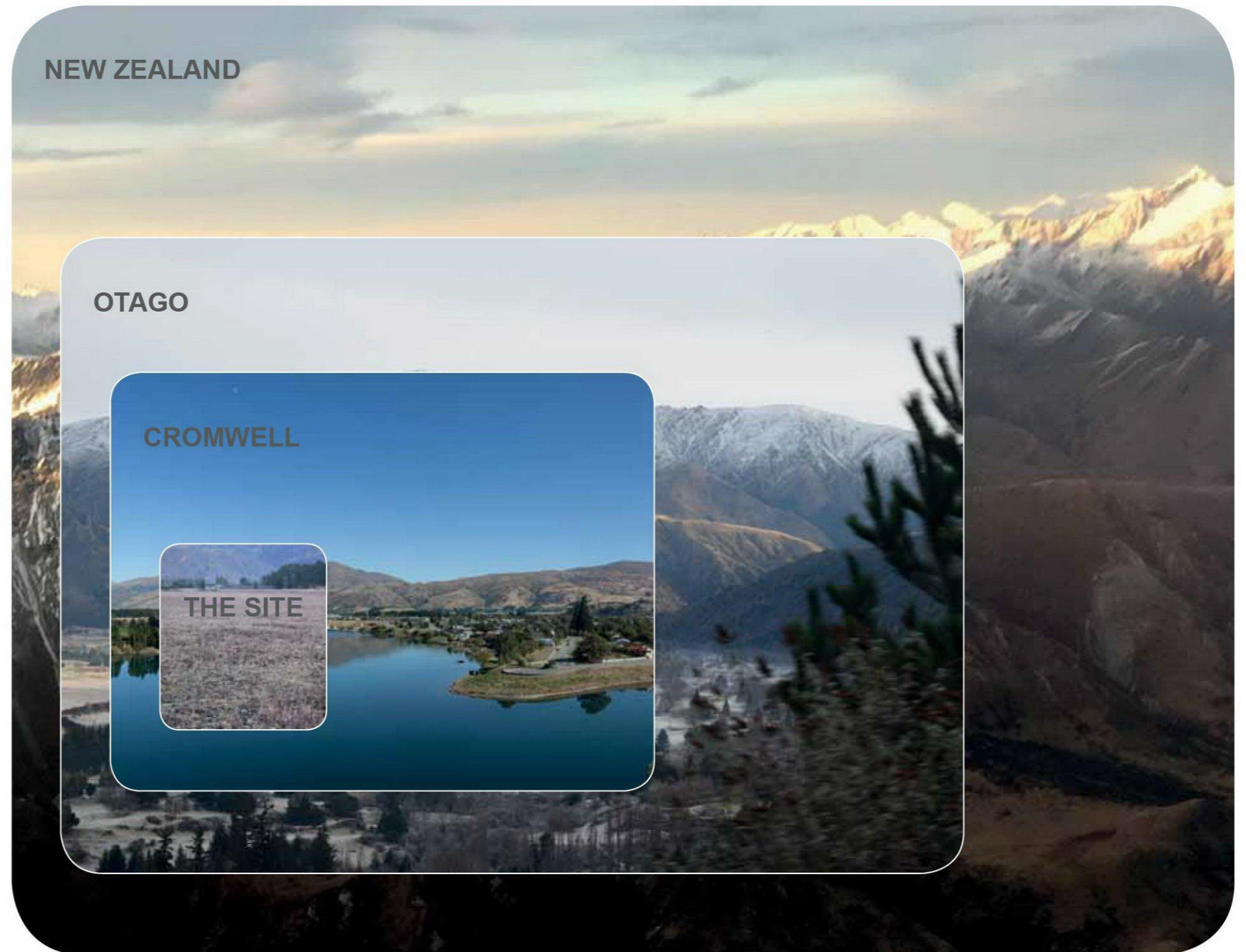
SITE ANALYSIS



UNDERSTANDING OUR CONTEXT

Our design approach places great importance on understanding and appreciating site context in order to create a place that is site specific.

A successful, site-specific development is one that is relevant to its national, regional and local context, and responds positively to its local climate, history and socio-economic conditions.

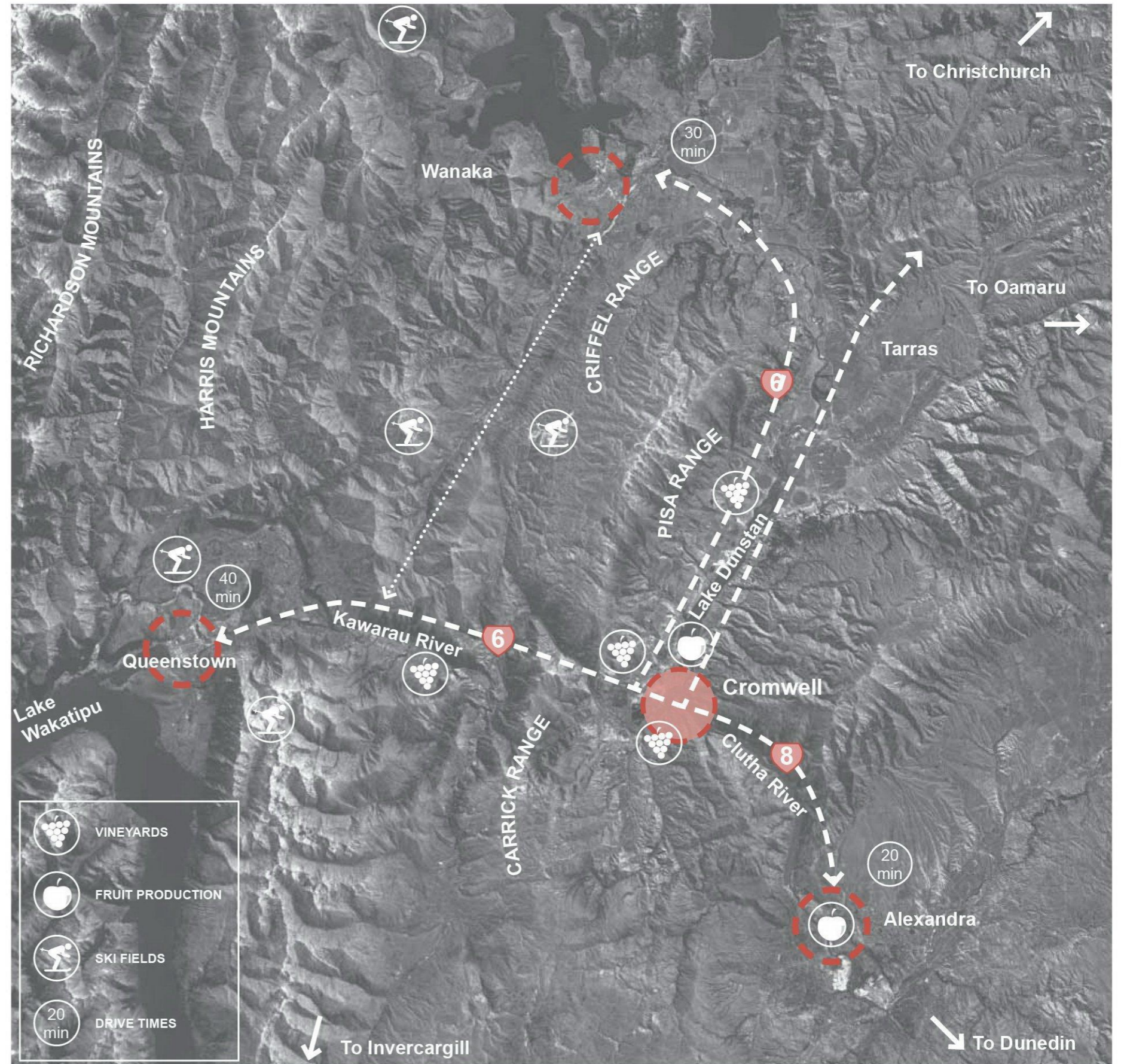


REGIONAL CONTEXT

Cromwell has long provided a trading node at the heart of Central Otago. Its role as a 'cross-roads' is reflected in its Maori name *Tirau*, meaning 'many cabbage trees' which had been planted at certain locations as route markers*.

Today Cromwell serves as a local employment, industrial and horticultural hub, complementing the neighbouring tourism focussed Queenstown and Wanaka.

The wider hinterland of Cromwell includes the minor townships of Bannockburn and Pisa Moorings.



*Bannockburn Heritage Landscape Study, Department of Conservation. <http://www.doc.govt.nz/Documents/science-and-technical/SfC244b.pdf>

LOCAL CONTEXT

This map locates the services and amenities within driving distance of the River Terrace site, including schools, shops, recreation and employment.

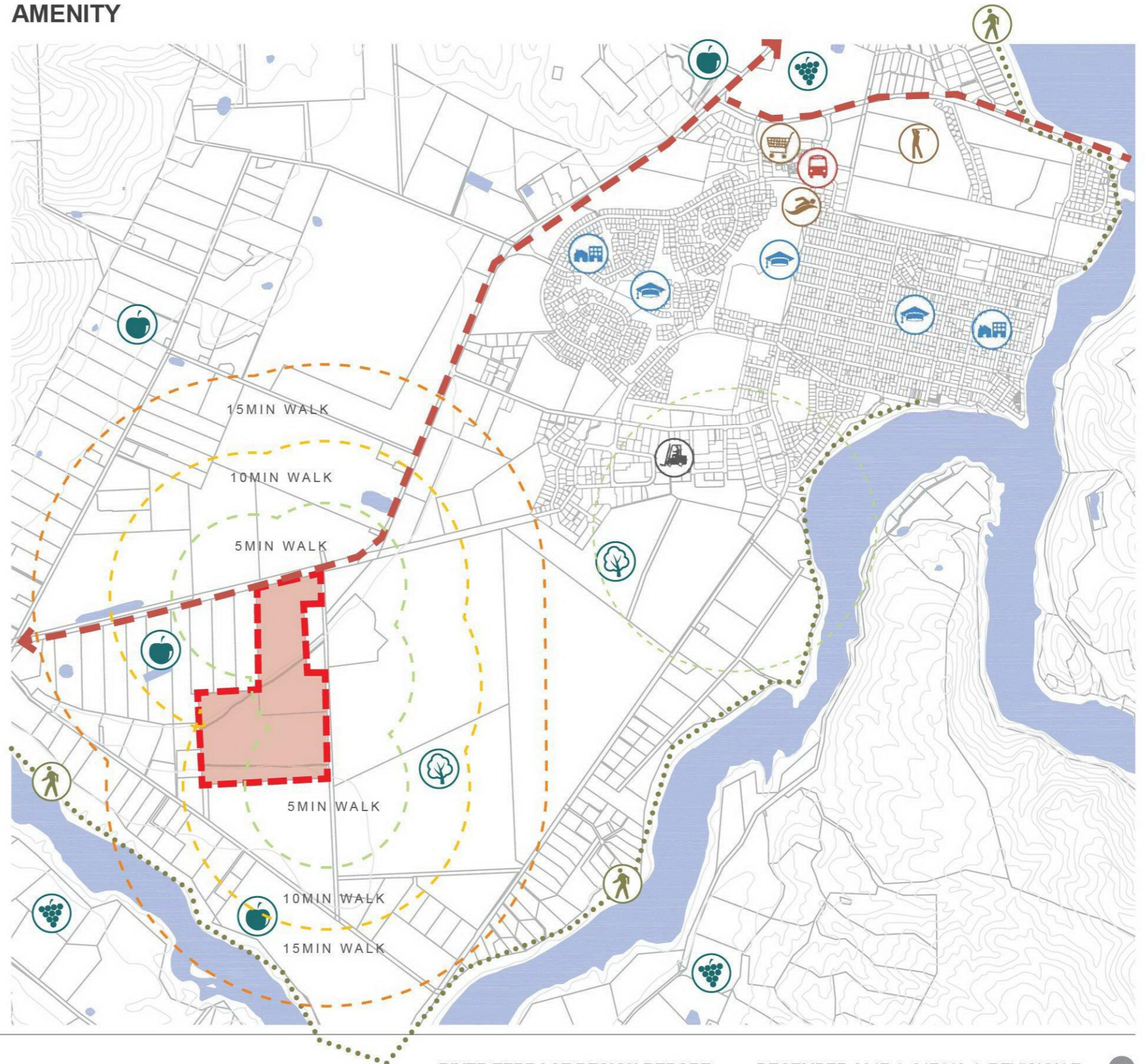
The indicative ped-shed shows that most amenity is beyond a 15 - 20 minute walk, suggesting provision of some local shops within the development would help support walkability.

(Refer to the appendix for supporting detailed analysis)

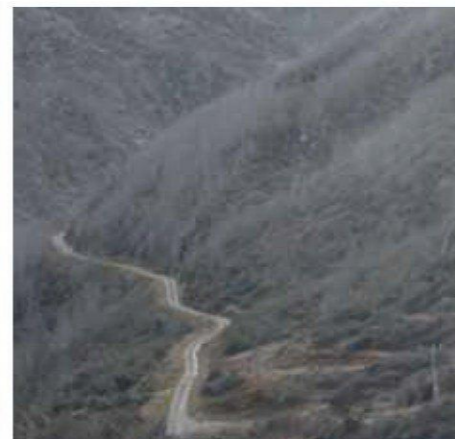
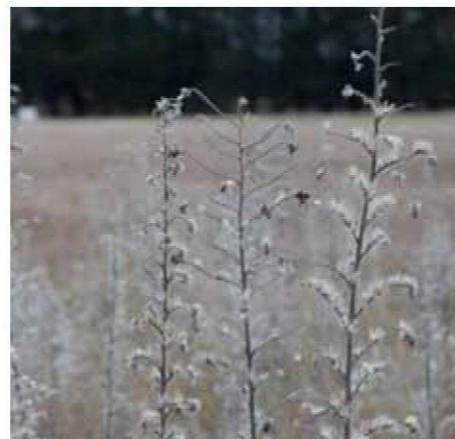
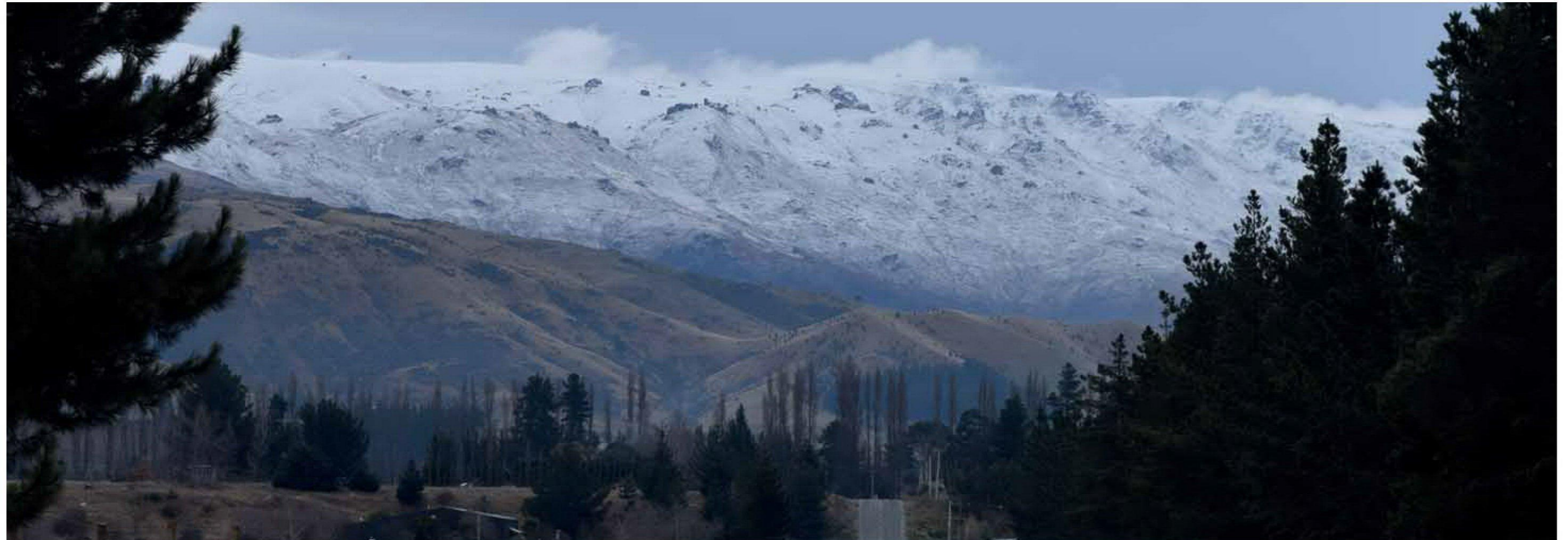
The following pages are a photographic sampling of the local vernacular, both natural and man-made, which have been compiled to help the design team gain a stronger appreciation and understanding of the local context, and to help inform site-specific design decisions.

-  SWIMMING CENTRE
-  VINEYARDS
-  INDUSTRIAL
-  WALKING TRAIL
-  AGRICULTURAL LAND
-  PRIMARILY RESIDENTIAL
-  BUS STOP
-  TOWN SHOPPING CENTRE
-  GOLF COURSE
-  WORKING FOREST
-  EDUCATIONAL FACILITY

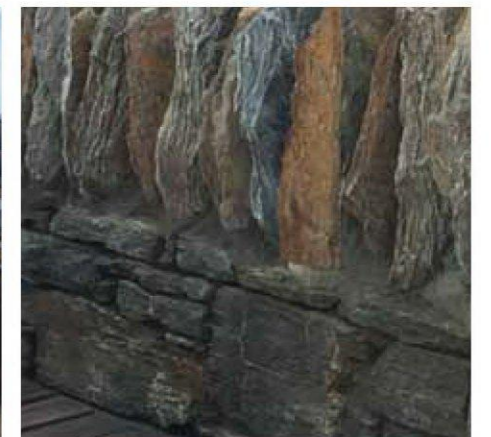
AMENITY



NATURAL VERNACULAR



BUILT VERNACULAR



SITE CONTEXT

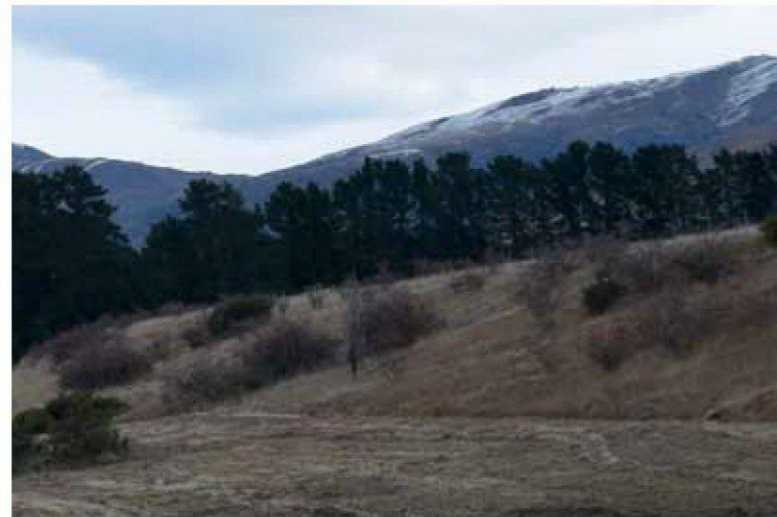
The following pages investigate the site itself and its immediate surrounds, cataloguing:

- + Landform
- + Vegetation
- + Ownership (parcel boundaries)
- + Land use
- + Infrastructure
- + Roading

SITE ANALYSIS

PROJECT SITE — LANDFORM AND VEGETATION

LANDFORM



VEGETATION

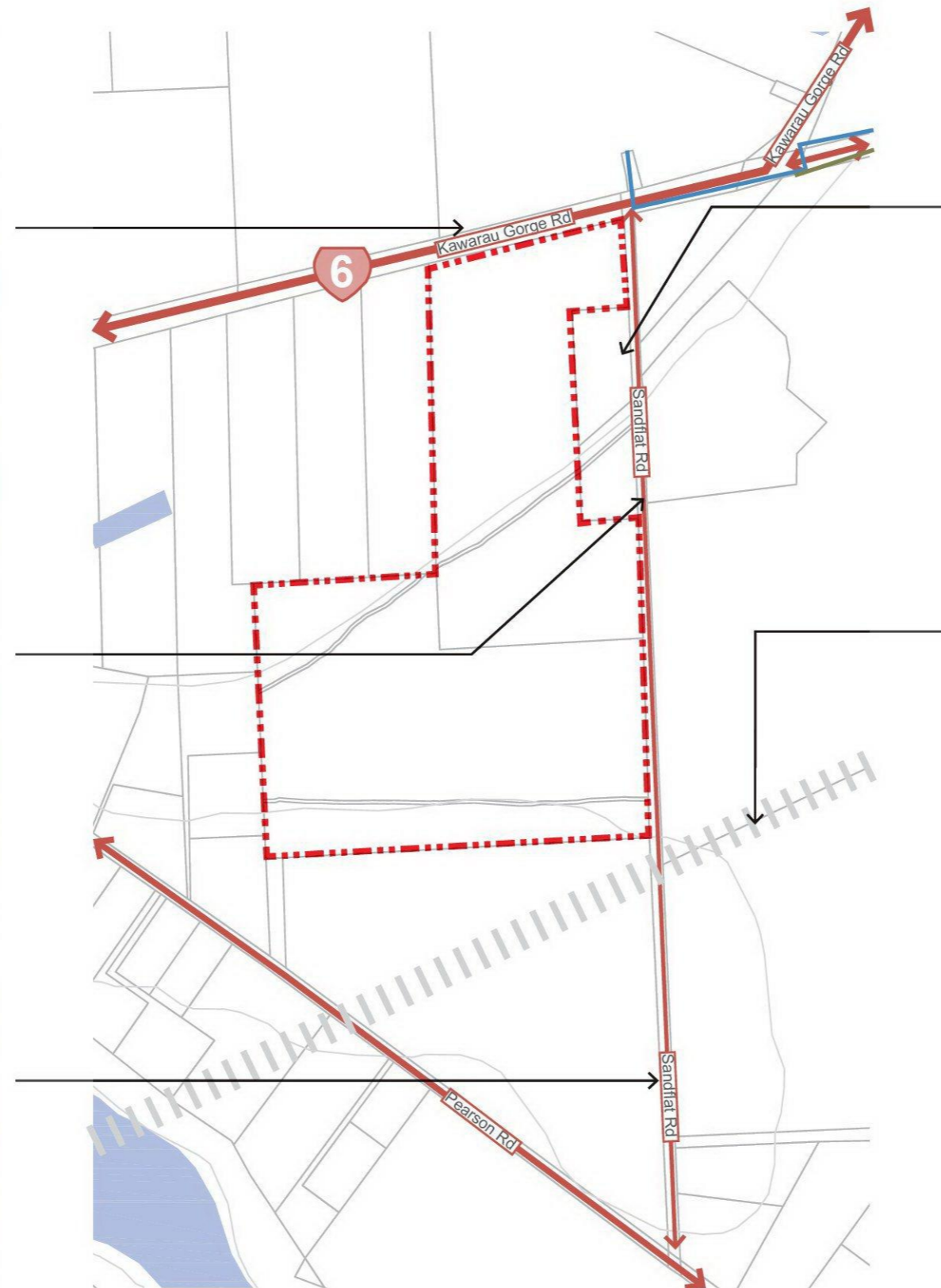


- | | |
|---------------------------|------------------|
| HIGHLANDS MOTORSPORT PARK | RURAL HOUSING |
| VINEYARD/CAFE | WORKING FOREST |
| LIGHT INDUSTRIAL | ORCHARD |
| UNPRODUCTIVE LAND | WATER RACE |
| | INDICATIVE SLOPE |

SITE ANALYSIS

PROJECT SITE — EXISTING MOVEMENT AND ACCESS

TRANSPORT LINKS



SERVICES AND BORDERING SITE FEATURES



SUMMARY

Our findings, resulting from the site analysis research collated here, have been summarised as a list of opportunities and constraints in terms of both the local and immediate site context.

This summary has been used to inform design decision making in the development of the River Terrace masterplan concept.

CROMWELL BASIN

OPPORTUNITIES

- + Affordability relative to Queenstown and Wanaka
- + Location at 'Junction' between several key centres
- + Perceived as more 'real' and 'authentic' than neighbouring tourist towns
- + Built on genuine industry — Goldmining followed by orchard, viticulture and service industries
- + Productive land (fruit bowl) due to soils and micro-climate including viticulture and orcharding
- + Strong heritage — gold-mining, orchards, early Maori migratory routes (Tirau)
- + Unique geology, ecology and hydrology of the Kawarau river basin including free-draining soils, high quality water supply, river terrace landform
- + Distinct seasonal change
- + Not perceived a 'party town' like it's neighbours

PROJECT SITE

OPPORTUNITIES

- + Shelter provided by existing trees
- + Views and outlook from river terrace
- + Views to surrounding peaks
- + Visibility from State Highway
- + Proximity to race track and orchards — potential for employment / entertainment / amenity
- + Unique geology, ecology and hydrology including free-draining soils, high-quality water supply, river terrace landform
- + Productive land due to micro-climate and soils
- + Cycleway through forest / reserve



38%
66%

104%

MASTERRPLAN CONCEPT

500 ÷ 400 = 1.25
BEST PRESS
GIVE

DESIGN HIERARCHY

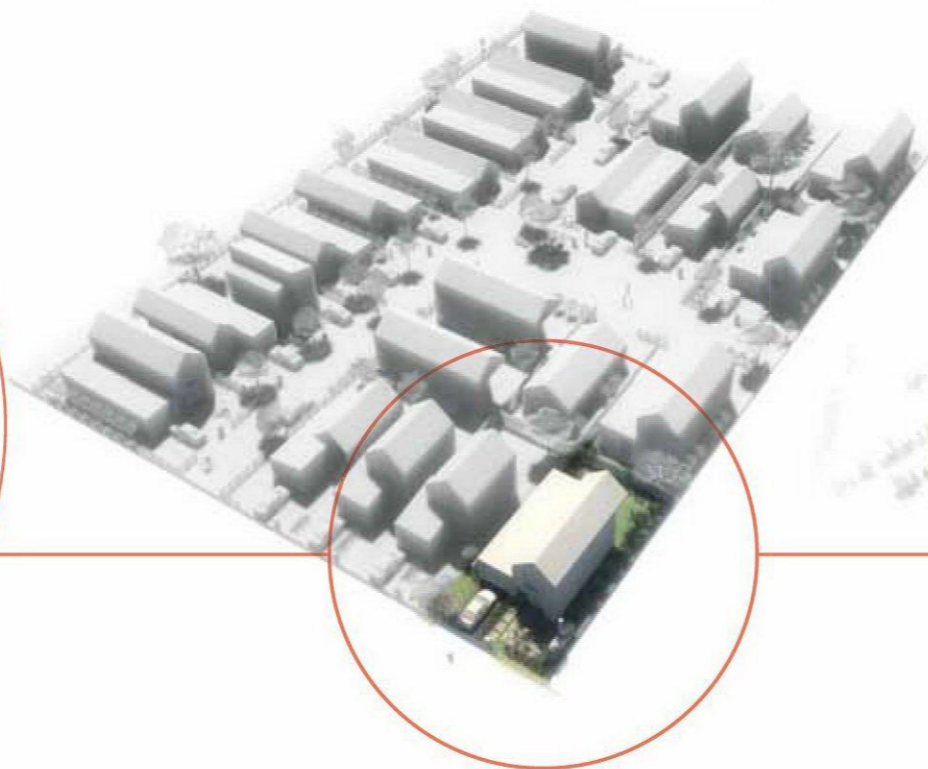
To achieve quality compact development, the masterplan design needs to be considered iteratively at all levels, from the whole site down to the individual house and lot.

The following design response has been broken down into a constituent hierarchy, with an explanation of design intent given at each scale, as well as a summary of key design moves at the masterplan level.

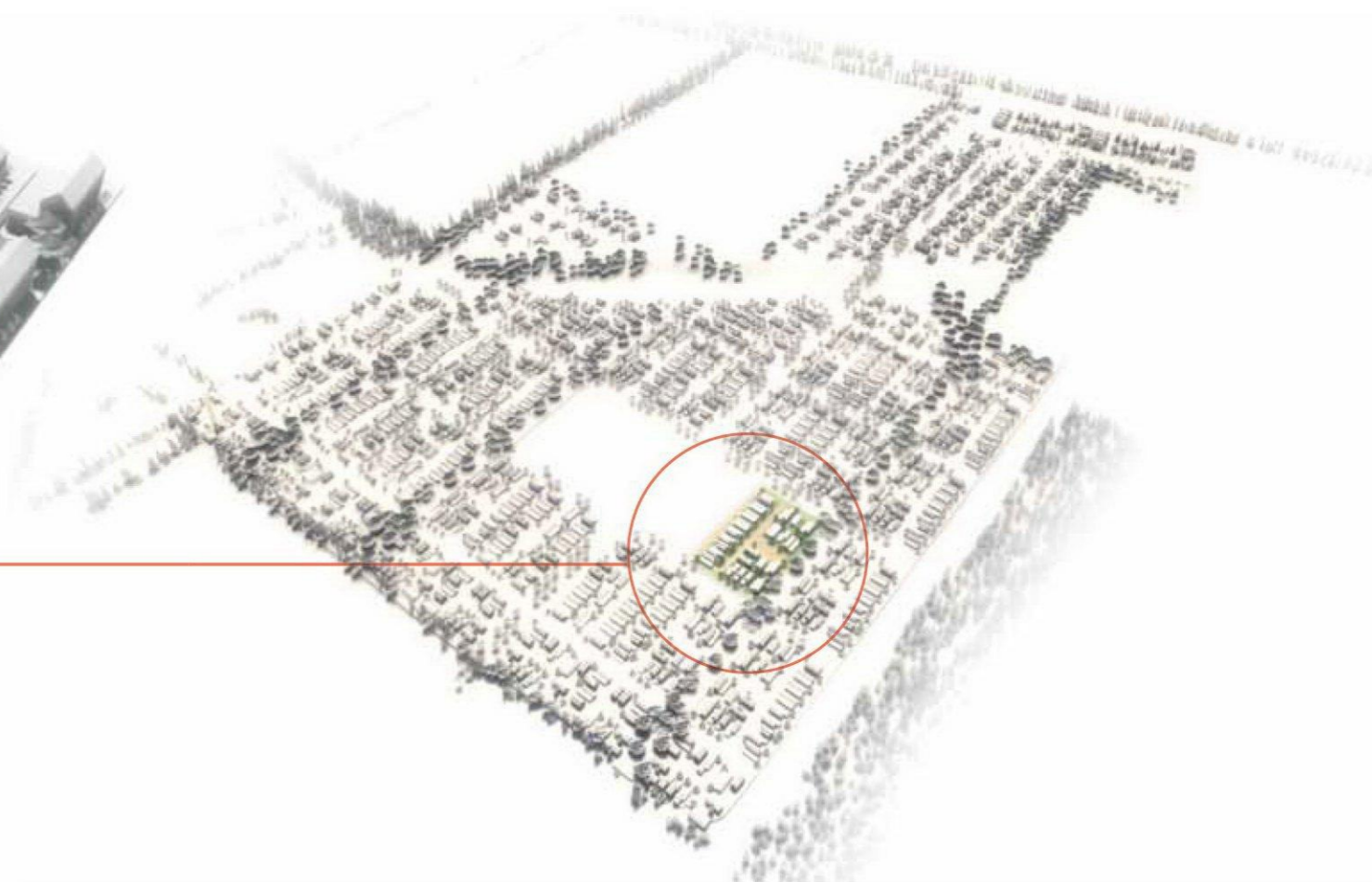
HOME



CLUSTER



COMMUNITY



HOME

There are some key elements that need close consideration when designing for quality compact outcomes.

Below are some of the chief design elements that can risk poor built environment outcomes when not resolved carefully.

These factors and more have been and are being routinely considered in the ongoing design development of homes and clusters at River Terrace.



- + Distinguish formal front from private rear
- + Enable 'eyes-on-the-street' with active internal uses (i.e. kitchen) overlooking the street to support passive surveillance

- + Re-think the fence: restore interaction with the street and neighbourhood

- + Apportion compact but functional open space

- + Accommodate cars discretely
- + Provide sufficient parking spaces to eliminate parking in non-designated areas
- + Design façades such that garage doors are recessive, not dominant

- + Orientate with special consideration given to neighbouring dwellings and solar orientation

CHOICE

Part of providing for a diverse community is offering a variety of housing choices. Houses of different sizes, price points and number of bedrooms appeal to a wider cross section of the market, from young families to empty-nesters, and all with varying budgets.

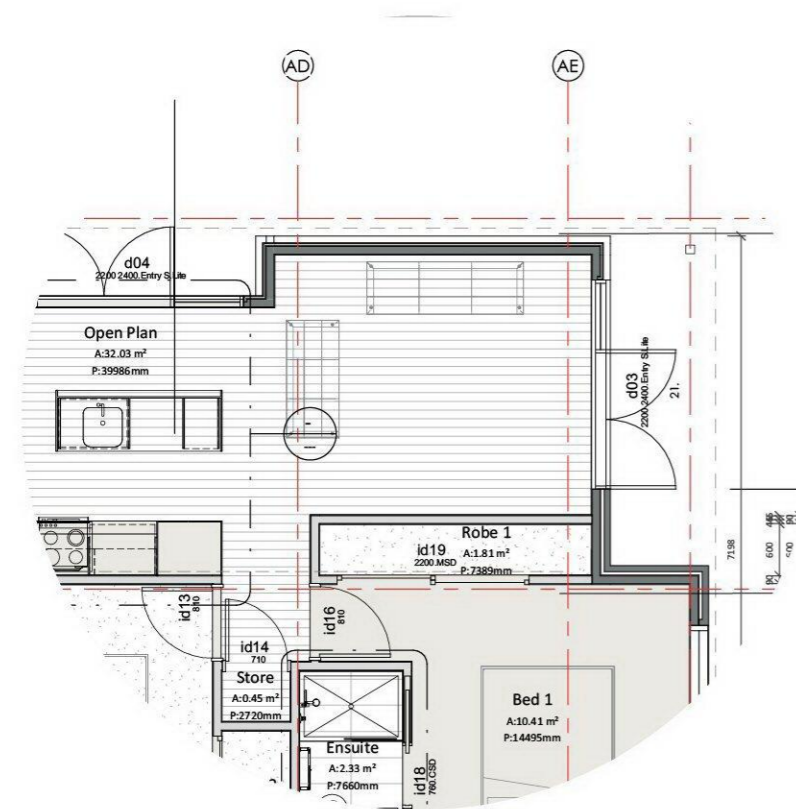
The River Terrace scheme is designed to accommodate a range of housing types — ‘Conventional’, ‘River Terrace Homes’ and ‘Modern Homes’ — with further variation within those types.

A proportion of ‘conventional’ subdivision lots are earmarked to accommodate new dwellings built to buyers’ design and specification (subject to design control standards) and deliverable by individual house builders.

The majority of lots have been designed to match with either ‘River Terrace Homes’ or ‘Modern Homes’ — two suites of pre-designed homes developed by RTDL that suit the specially designed River Terrace housing clusters.

The ‘River Terrace Homes’ have been designed and built by the developer for a subdivision in development in Wanaka, and reflect the Otago context in their form and materiality. The ‘Modern Homes’ designs are more compact in site and floor area than the ‘River Terrace Homes’ and are intended to bring a more ‘affordable’ housing product to the local market.

Both ‘River Terrace Homes’ and ‘Modern Homes’ designs remain ‘live’ and in development in order to ensure there is an evolving and dynamic response to design constraints and requirements as they arise.



CONVENTIONAL LOTS

- + Approximately 550m² lots
- + ‘Design your Own’
- + Design control standards
- + Design approval process



RIVER TERRACE HOMES

- + Approximately 300m² lots
- + 1 - 2 storeys
- + 2 - 3 bedrooms
- + Approx. 140m² + garage



MODERN HOMES

- + Approximately 200m² lots
- + 1 - 2 storeys
- + 2 - 3 bedrooms
- + Approx. 90m²

CLUSTER

A 'cluster' subdivision typology has been developed for the River Terrace masterplan as a way to unlock efficient, quality compact development.

Conventional subdivision patterns are typically street facing, and increasing densities within these patterns historically has led to poor built environment outcomes (back lots; poor walkability; long dead ends; CPTED issues; privacy and outlook issues).

A River Terrace 'cluster' is a carefully planned mix of "conventional", "River Terrace Homes" and "Modern Homes". The cluster model introduces a home-zone environment — an internal, quiet, slow-speed, pedestrian and play friendly space which also accesses 'off-street' homes.

The intimate scale of housing clusters and the interaction between households and the home zone helps foster neighbourliness and a sense of community, which has social and security benefits for residents.

Clusters have been designed with integral flexibility — certain strategic lots can be divided or amalgamated to substitute between the three house typologies. This flexibility allows the developer to respond dynamically to market demand, helping to secure uptake. This makes for a financially successful project for the developer, and a stronger, fully populated community for residents.

The cluster model provides a safer and more attractive streetscape and neighbourhood. Internalising access to a proportion of homes alleviates space pressure on vehicle access from the street — that means fewer vehicle crossings, fewer cars reversing across footpaths and more berm space for trees and vegetation.



COMMUNITY

Clusters are arrayed across the development in an efficient grid arrangement.

Several cluster design permutations ensure that each cluster responds positively to its orientation and context, be it adjacent roads, open spaces or other clusters. Cluster variation also prevents repetition, helping with visual appeal and neighbourhood legibility and way-finding.

Clusters predominate the middle of the project site, with a periphery of conventional lots creating a lower density transition to the neighbouring boundaries.

The following spreads describe the key moves that have led to the River Terrace masterplan, which include:

- + Landscape strategy
- + Greenways
- + Lanes
- + Suburban park
- + School opportunity
- + Neighbourhood centre
- + Retirement living
- + Street hierarchy



LANDSCAPE STRATEGY

The River Terrace landscape strategy aims to reflect the local landscape character, while introducing thematic variety across different zones that serves to break up the expanse of the near-50 hectare project area.

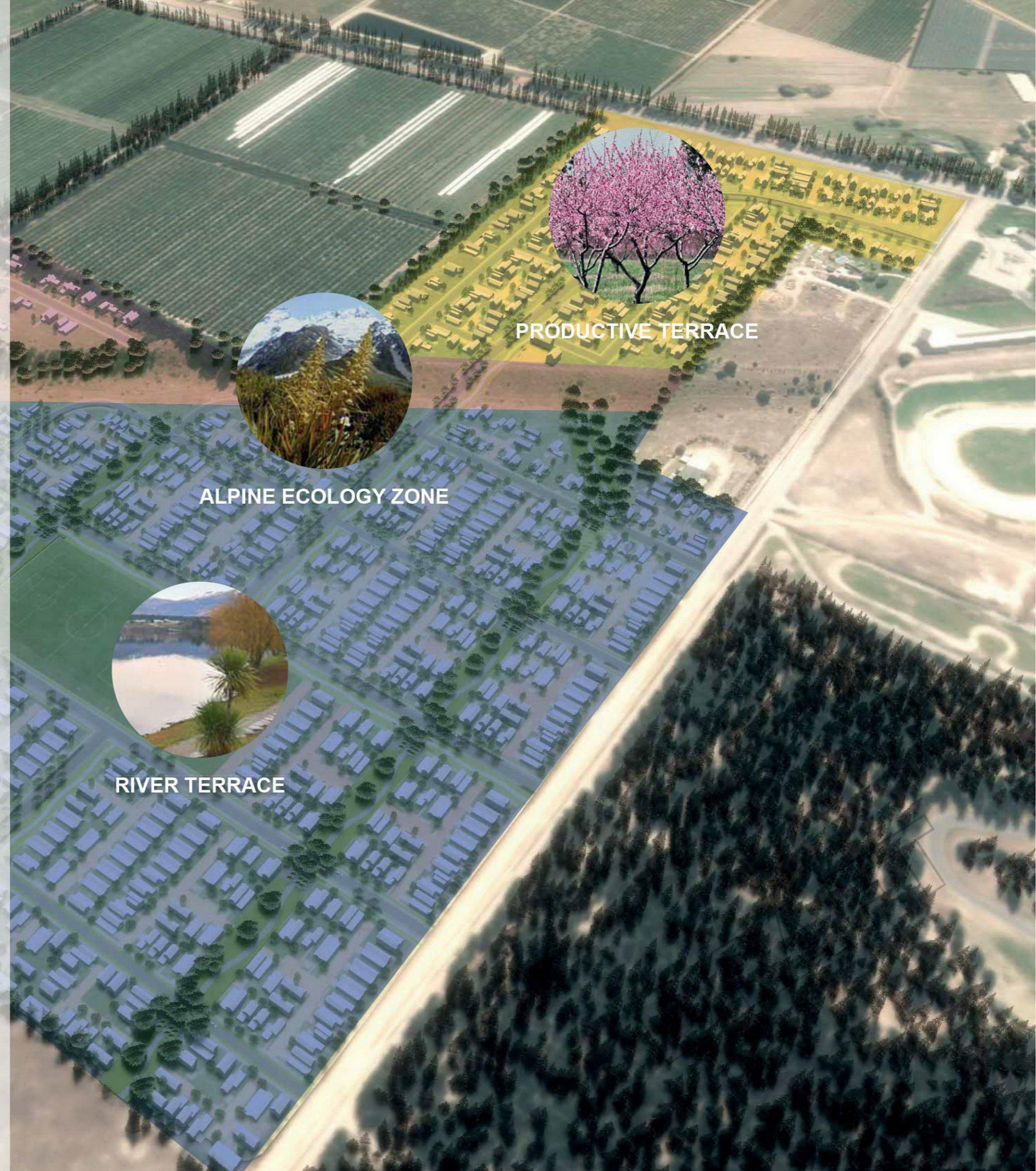
The three zones:

- + Productive Terrace
- + Alpine Ecology Zone
- + River Terrace

are delineated by the chief topographical features of the site — the twin plateaux and intermediate embankment — and the planting and landscape character of each zone reflects qualities of the local environment.

Within the wider landscape zones, a variety of open space types form an integrated network that facilitates active and passive recreation, walking, cycling and play.

Refer to the following pages for a detailed explanation of the landscape zones, and a table of indicative open space typologies.



PRODUCTIVE TERRACE

ALPINE ECOLOGY ZONE

RIVER TERRACE

GREENWAYS



- + To be developed in parallel with site masterplanning
- + Utilises the street and circulation network to create green linkages through the site
- + Provides transport, ecological, aesthetic and stormwater services
- + Potential to incorporate some productive planting linking to site heritage and frontage landscape

ALPINE ECOLOGY ZONE



- + Celebrates the unique Alpine environment of Central Otago
- + Planting appropriate to South facing and rocky moraine
- + Creates a natural recreation environment incorporating walkways and informal play opportunities
- + Retains historic water race at base of bank

LANDSCAPE FRONTAGE



- + A unique blend of productive and native ecological planting
- + Creates screen and setback from State Highway
- + Builds on existing character of neighbouring sites and creates a productive gateway to Cromwell
- + Creates a community resource that socially activates the site and creates a unique identity
- + Seasonal change
- + Creates a high quality road frontage

RIVER TERRACE

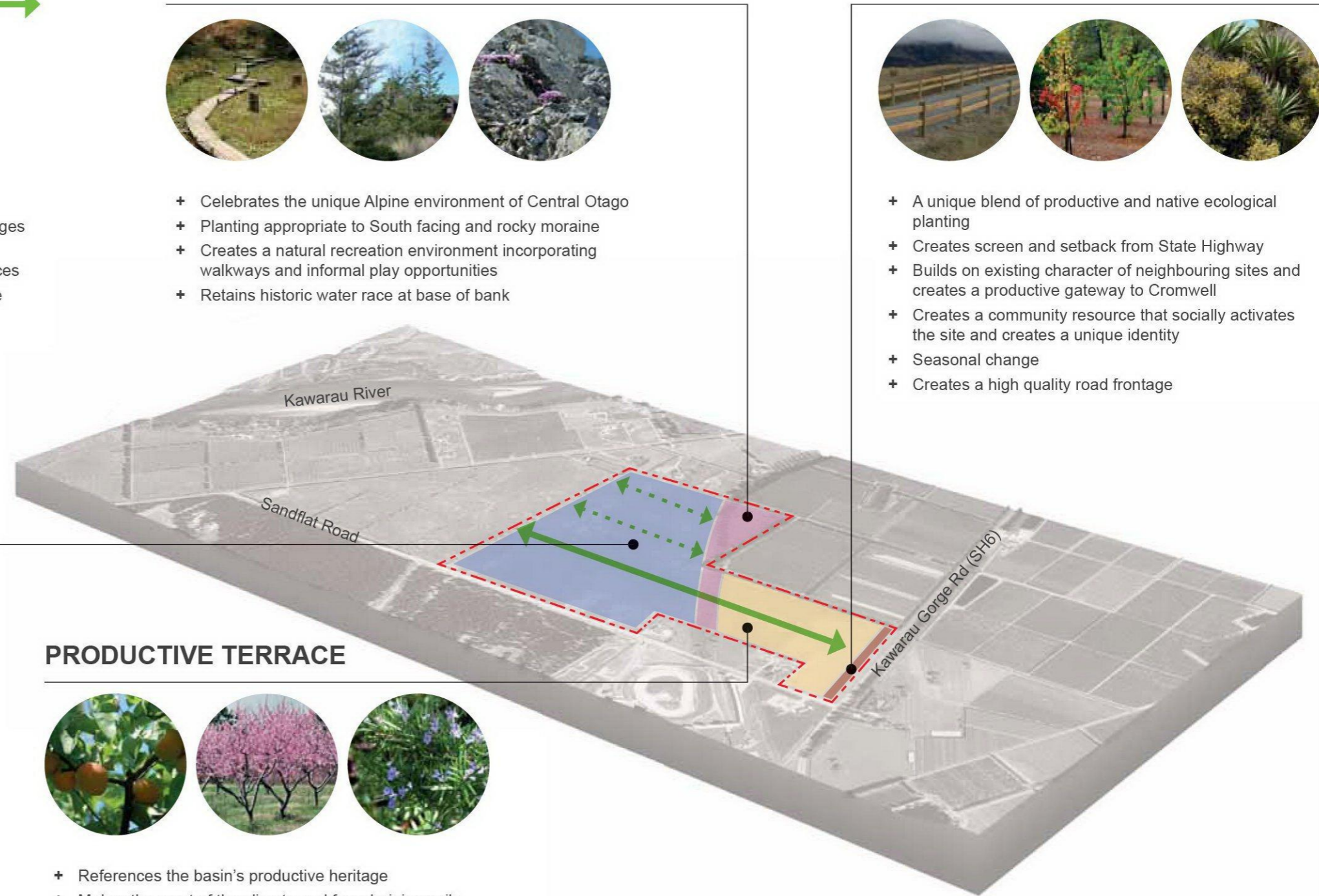


- + References the basin's ecological heritage and proximity to the Kawarau and Clutha rivers
- + Planting appropriate to the local climate, soil and ecological district reducing required maintenance and reinforcing a sense of place
- + More naturalistic landscape arrangements
- + Provides variation as you move through the site

PRODUCTIVE TERRACE



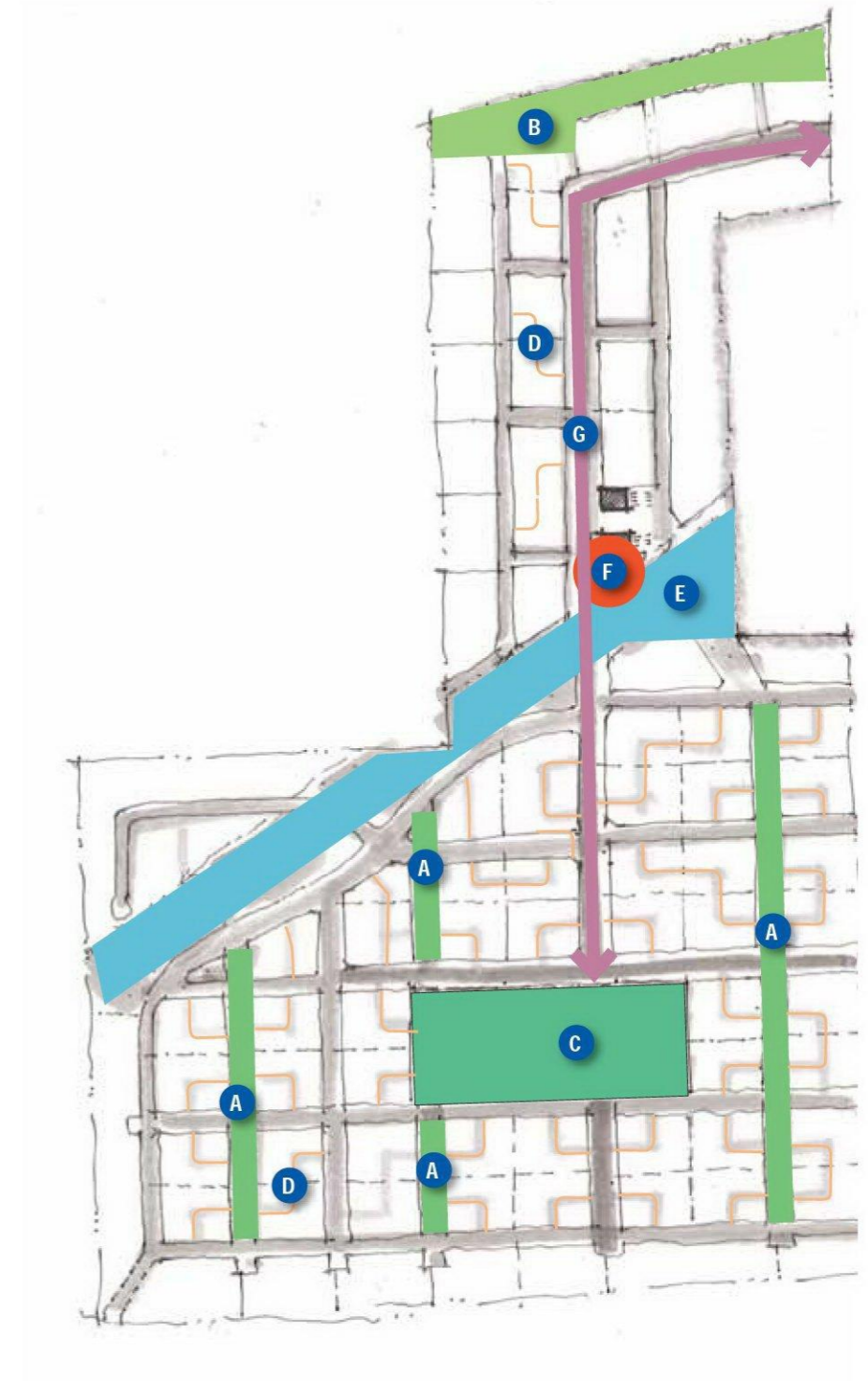
- + References the basin's productive heritage
- + Makes the most of the climate and free draining soils
- + Creates a community resource that socially activates the site and creates a unique identity
- + References the site location and orchard adjacencies
- + Provides variation as you move through the site
- + More structural landscape arrangement
- + Seasonal change



MASTERPLAN CONCEPT

INDICATIVE OPEN SPACE TYPOLOGIES

GW A	Greenways Green linkages running North South between community clusters, providing cycling and walking connectivity and informal recreation opportunities. Potential to incorporate some productive planting and small scale play equipment.		
CO B	Community Orchard Northern site frontage incorporates native planting zones and productive orchard species. Small clearings and mown pathways provide informal recreation and picnic spaces. Potential to incorporate some small scale play equipment.		
SP C	Suburban Park Open space / park, large enough to host formal open space uses such as a rugby / football pitch in addition to some hard paved courts and play area, etc. Good park surveillance provided by surrounding residential clusters.		
HZ D	Home Zones and Pocket Parks Community clusters incorporate flexible 'home zones' which are designed to safely integrate and encourage informal play on hard paved areas. Where cluster is not in close proximity to other open space amenity there is the option to incorporate a small pocket park.		
EZ E	Wild Play / Alpine Eco Zone Making the most of the site topography this zone offers informal amenity space with several walking and cycling linkages and a 'wild playground' area. Planting references the local alpine ecology and supports biodiversity and exploration. Potential to incorporate water feature / channel referencing regions gold-mining / productive heritage.		
VS F	Village Square In the middle of the site, atop the terrace, a small main street plaza offers the opportunity for café and outdoor dining, and small town centre programmed activities. The Village Square is oriented North / South offering views in both directions and is close to both the main play area and proposed retirement facilities.		
LP G	Linear Park A linear park offers a meandering walkway / cycleway alongside the main boulevard and North / South axis, providing a safe connection between the key open space amenities and site entrances.		



EXTENT AND LOCATIONS SHOWN INDICATIVELY



GREENWAYS

The concept of the Cromwell greenways — the existing network of public open space that threads through Cromwell town — has been adopted and replicated in the River Terrace masterplan. Key design features of the greenways are:

- + Interconnect key open spaces
- + Utilise the street and circulation network to create green linkages through the site
- + Provide transport, ecological, aesthetic and stormwater services
- + Potential to incorporate some productive planting linking to site heritage and frontage landscape
- + Encourage occupation; stewardship



LANES

The cluster home-zones are an integral part of the open space network. They:

- + Interconnect clusters with Greenways
- + Provide safe, pedestrian privileged routes from door to open space network
- + Host informal play



SUBURBAN PARK

A suburban park large enough to host formal open space uses such as a rugby / football pitch is proposed at the heart of the neighbourhood.

In addition, either a multi-use-game-area (MUGA), hard paved courts or play area could also be incorporated.

Good park surveillance will be provided by the adjacent surrounding residential clusters.

This park is large enough that in the future it could accommodate a school.



SCHOOL OPPORTUNITY

As established in the accompanying Economic Assessment prepared by Market Economics Consulting, Cromwell is growing. Providing space for a school would not only absorb the future roll generated by new residents, but could also provide for the wider Cromwell region, including outlying locations such as Bannockburn.

A school at River Terrace would reduce pressure on the existing schools, as well as significantly reduce local traffic movements at drop-off / pick-up times.

The walkable street and open space network would also facilitate children walking and cycling to school, yielding health and sustainability benefits.

If it were implemented, the presence of a school would be a strong attractor for young families, which would provide a complementary demographic to the retirement living component of River Terrace, enhancing community diversity.



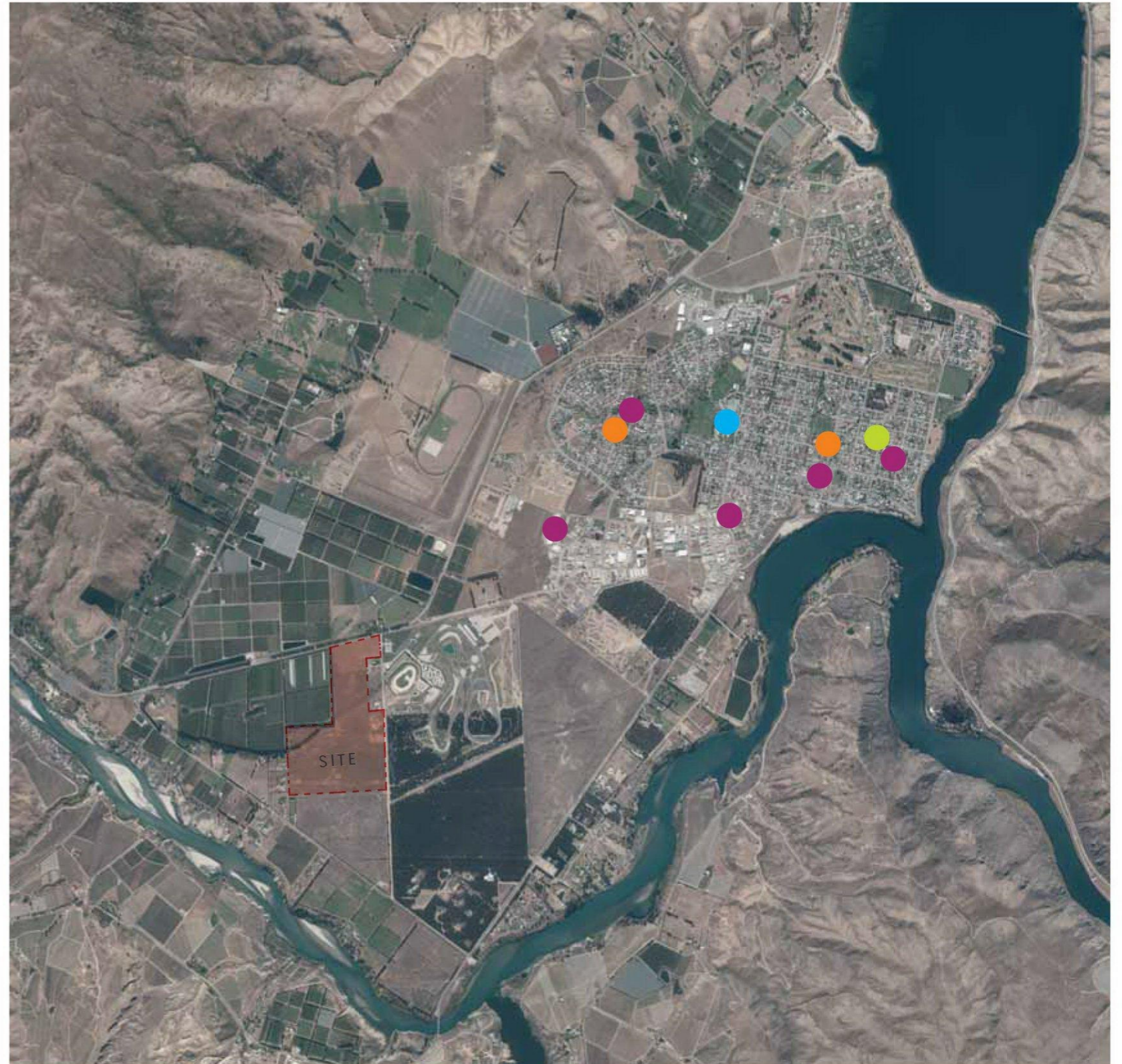
SCHOOL STUDY

Our brief analysis of local media reports suggests that at the time of writing, the two existing Cromwell primary schools are operating at roll capacity.

In order to understand the land area required to provide a new primary school and the impact this would have on the River Terrace masterplan, a desktop study was undertaken to look at some local and national examples of existing primary schools.

By benchmarking against the sample study of primary schools (over), we estimate that the proposed size of the River Terrace formal open space (2.2Ha) would be sufficient to support the establishment of a new local primary school. This would be enough area to locate school buildings, and retain a playing field for school and community use.

- PRE-SCHOOL
- PRIMARY SCHOOL
- SECONDARY SCHOOL
- TERTIARY



Locations of existing schools in Cromwell.



STONEFIELDS SCHOOL
SCHOOL ROLL: 449 (YRS 1-8)



REMARKABLES PRIMARY SCHOOL
SCHOOL ROLL: 559 (YRS 1-8)



ELIM CHRISTIAN COLLEGE JUNIOR CAMPUS
SCHOOL ROLL: 450 (YRS 1-6)



FROM PREVIOUS KNOWLEDGE...

SITE SIZE OF SUBURBAN PRIMARY SCHOOLS RANGE FROM:

0.9HA (E.G. VERY SMALL PRIMARY SCHOOL IN AN EXISTING OLDER SUBURB) TO

3.2HA (E.G. STONEFIELDS SCHOOL.

1.7HA IS REGARDED AS A COMMON SITE SIZE.



QUEENSTOWN PRIMARY SCHOOL
SCHOOL ROLL: 598 (YRS 1-8)



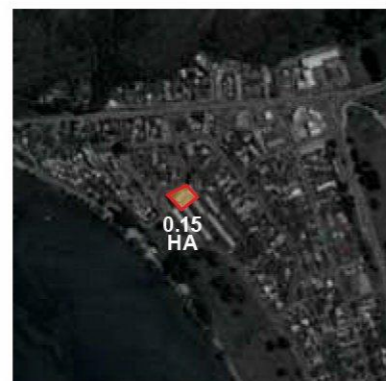
SHOTOVER PRIMARY SCHOOL
SCHOOL ROLL: 450 (YRS 1-8)



CLYDE PRIMARY SCHOOL
SCHOOL ROLL: 120 (YRS 1-8)



ALEXANDRA PRIMARY SCHOOL
SCHOOL ROLL: 180 (YRS 1-8)



KINGSVIEW SCHOOL
SCHOOL ROLL: 28 (YRS 1-8)
NOTE: NO FIELDS



WANAKA PRIMARY SCHOOL
SCHOOL ROLL: 594 (YRS 1-6)



ARROWTOWN PRIMARY SCHOOL
SCHOOL ROLL: 510 (YRS 1-8)



GOLDFIELDS SCHOOL
SCHOOL ROLL: 232 (YRS 1-6)



CROMWELL PRIMARY SCHOOL
SCHOOL ROLL: 239 (YRS 1-6)

RETIREMENT LIVING

A retirement living component is proposed for River Terrace, which would be comprised of a mix of independent living 'villas', with some supporting staged advanced care facilities.

RTDL is pursuing a progressive retirement living model, which propounds integration with the wider community, rather than the typical conventional model of gated isolation.

Social interaction is an important component in mental health and well-being.* Integrating retirees and the wider community can facilitate these health benefits.

Integration can be achieved for example by merging a retirement operation with local shops or services. By taking some of the typical services offered within a retirement complex, for example a hairdressers or cafe, and opening them out into the community realm, retirees and residents can cross paths and engage in active and genuine social encounters.

The River Terrace 'retirement living' area is co-located with a 'neighbourhood centre' area to optimise the opportunity for integration through close proximity.

To help with our understanding of the requirements of a retirement facility, a desktop study was undertaken to look at a few existing retirement villages in terms of size (land area and number of units), mix of unit typologies (apartments; terraced or duplex; standalone dwellings) and the types of services and facilities on offer. The results are summarised on the following page, and based on these we have been able to determine an appropriate land area allocation to provide for a retirement living zone.

*All The Lonely People, Sarah Blundell, 2015.
<http://www.noted.co.nz/archive/listener-nz-2015/all-the-lonely-people/>



RETIREMENT LIVING STUDY



ARIA BAY (ARVIDA)

BROWNS BAY, AUCKLAND

NO. OF DWELLINGS: 87

IL AL RH A SA
P D RN



EVERILL ORR RETIREMENT VILLAGE (OCEANIA)

MT ALBERT, AUCKLAND

NO. OF DWELLINGS: 210

IL RH HC A LC
D RN

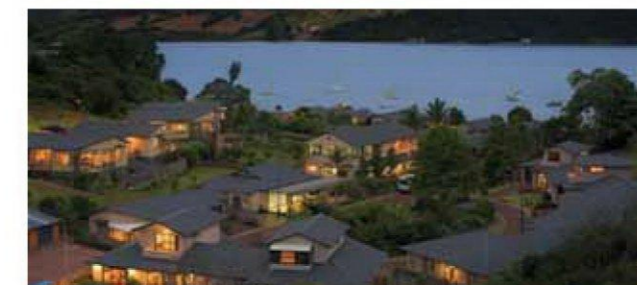


WAIHEKE RETIREMENT VILLAGE (LIFECARE)

OSTEND, AUCKLAND

NO. OF DWELLINGS: 51

IL V
D RN



- IL INDEPENDENT LIVING
- AL ASSISTED LIVING
- RH REST HOME CARE
- HC HOSPITAL CARE
- A APARTMENTS
- SA SERVICED APARTMENTS
- LC LUXURY CARE SUITES
- V VILLAS

- P PHYSIO
- D DOCTOR
- RN REGISTERED NURSE

- POOL / SPA POOL
- GYM
- OUTDOOR COURTYARD / BBQ / GARDENS
- COMMUNAL LOUNGE

- COMMUNITY CENTRE
- LIBRARY
- CINEMA
- BEAUTY & CARE
- WORKSHOP
- GAMES / MUSIC

NEIGHBOURHOOD CENTRE

The River Terrace neighbourhood centre will comprise of a small range of shops or services that support the immediate local community.

It will be sized to strike a balance between providing a basic retail offer (e.g. general store) that saves the need to drive further afield for day to day items or services, without commercially undermining Cromwell's existing town centre.

The neighbourhood centre will be sited to offer mutual benefit to the adjacent retirement living area. Its location at the crest of the embankment is:

- + **prominent** — visible from the lower terrace residences and open spaces, aiding in orientation and way-finding; and
- + enjoys **prospect** — has views over the lower terrace and towards the ranges to the south; and is
- + **central** — is as equidistant as possible to as many homes as possible.



STREET HIERARCHY

A road hierarchy serves to manage traffic speeds and volumes, and to lend character to distinct areas to help with legibility and way-finding.

The River Terrace masterplan is composed around a framework of roads of varying widths and types.

Certain design elements such as shared cycle paths, tree planting arrangements, on street parking bays and planted areas are all deployed to help signify the role of each road, from 'main axis' to 'quiet back street'.

The following road cross sections, and those catalogued in the 'Structure Plan' section describe the design elements and functions of the River Terrace road typologies.



STREET HIERARCHY



A PRIMARY ROAD

- + Incorporates roadside parking bays
- + Street tree planting within roadside build outs
- + Linear park with shared cycle / walkway runs adjacent road
- + Generous footpaths

B SECONDARY ROAD

- + Incorporates roadside parking bays
- + Street tree planting within roadside build outs
- + Planted build outs + raised tables provide traffic calming and pedestrian amenity at greenway crossings

C NEIGHBOURHOOD ROAD

- + Narrow road width promotes slow speed / safety
- + Parking on street further reduces traffic speeds
- + Street tree planting within berms
- + Footpath on both sides of road

VISUALISATIONS



INDICATIVE MASTERPLAN

The following spreads are a suite of indicative 'artist-impression' visualisations prepared to help convey an understanding of the design intent for the River Terrace as a neighbourhood and place.



CLUSTER



HOME ZONE



GREENWAY

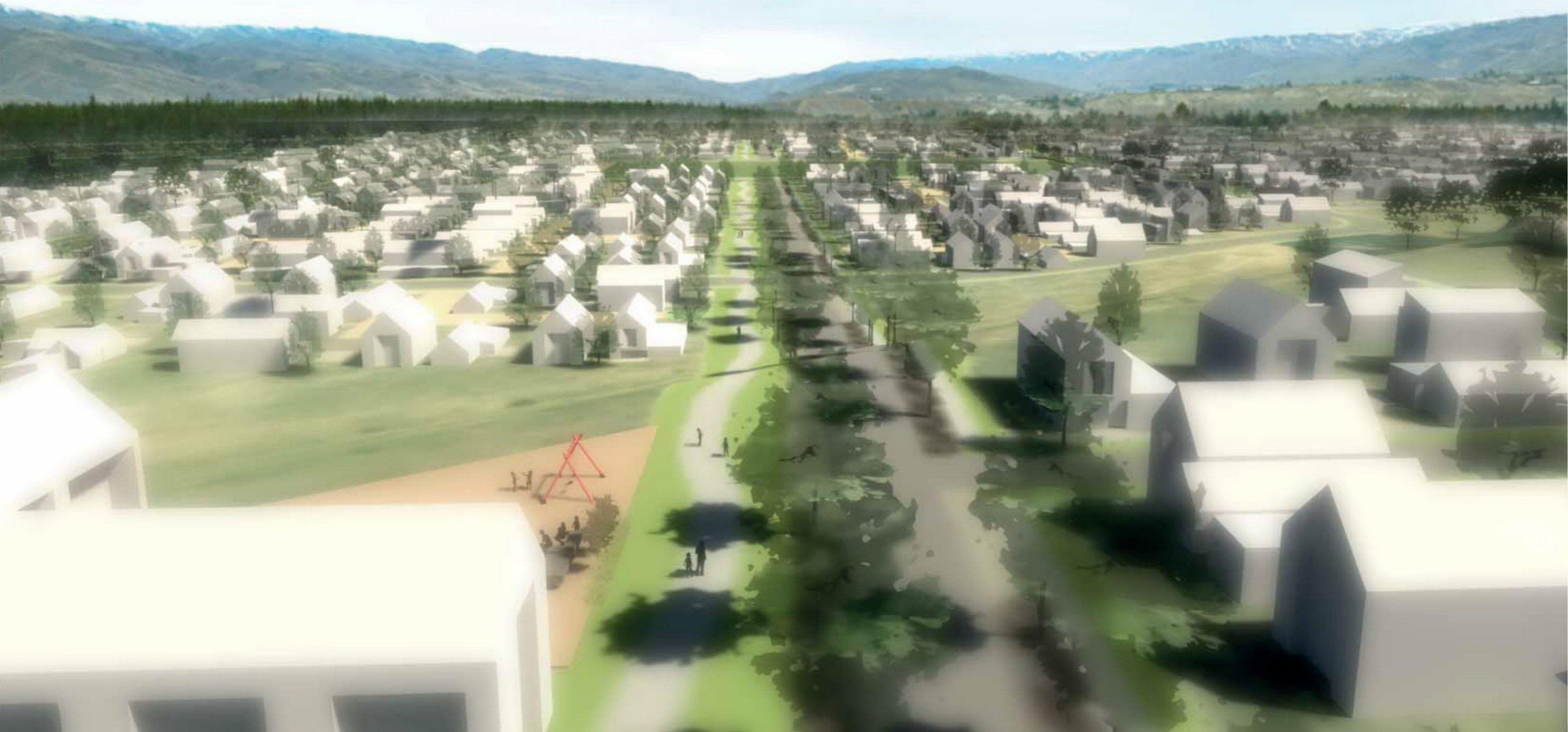


GREENWAY CROSSING



SHARED PATH

—



SUBURBAN PARK WITH POTENTIAL SCHOOL INDICATED



APPENDICES:



RIVER TERRACE Structure Plan

RIVER
TERRACES
DEVELOPMENT
LTD.

217143 | DECEMBER 2017 | REVISION H

ARCHITECTS | INTERIOR DESIGNERS | LANDSCAPE ARCHITECTS | URBAN DESIGNERS

Jasmax

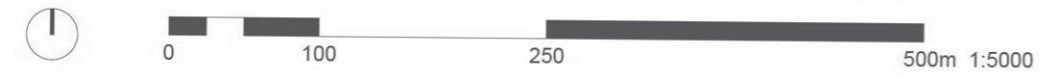
STRUCTURE PLAN



-  RESOURCE AREA BOUNDARY



- SUB AREAS**
-  RESIDENTIAL A
-  RESIDENTIAL B
-  OPEN SPACE
-  HORN'S SHAFT SETBACK (20M)

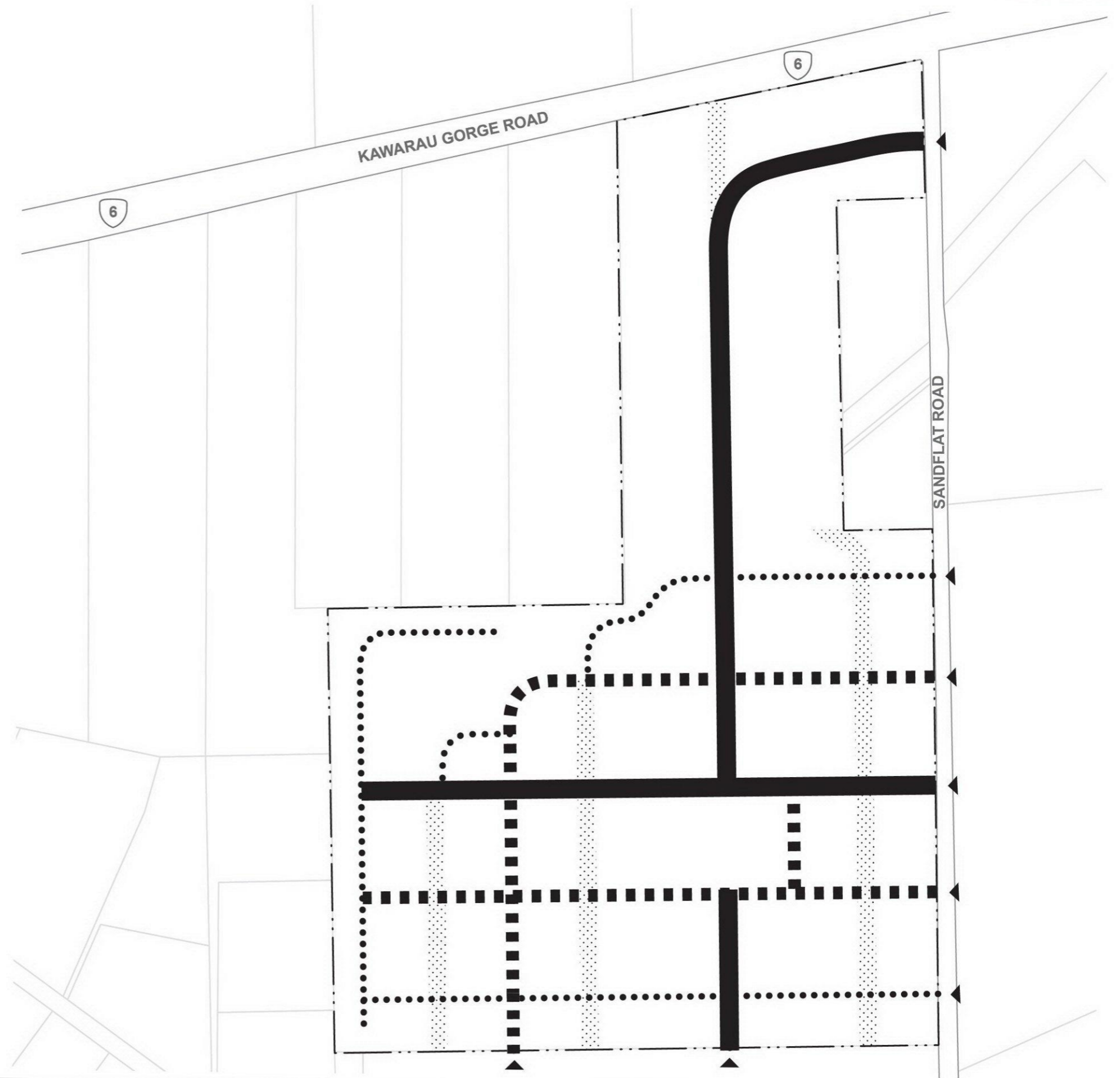
- OVERLAY**
-  NEIGHBOURHOOD CENTRE
-  RETIREMENT LIVING
-  EDUCATION



MOVEMENT PLAN





-  RESOURCE AREA BOUNDARY
-  ROAD A
-  ROAD B
-  ROAD C
-  GREENWAY
-  VEHICLE ACCESS



DEVELOPMENT PARCEL PLAN



-  RESOURCE AREA BOUNDARY
-  DEVELOPMENT PARCEL



0 100 250 500m 1:5000

An aerial photograph of a river valley. The river is a deep blue, winding through the center. On either side, the hills are terraced, showing signs of human settlement and agriculture. A town is visible in the middle ground, with a grid of streets and numerous buildings. The foreground shows more detailed views of the town and surrounding fields.

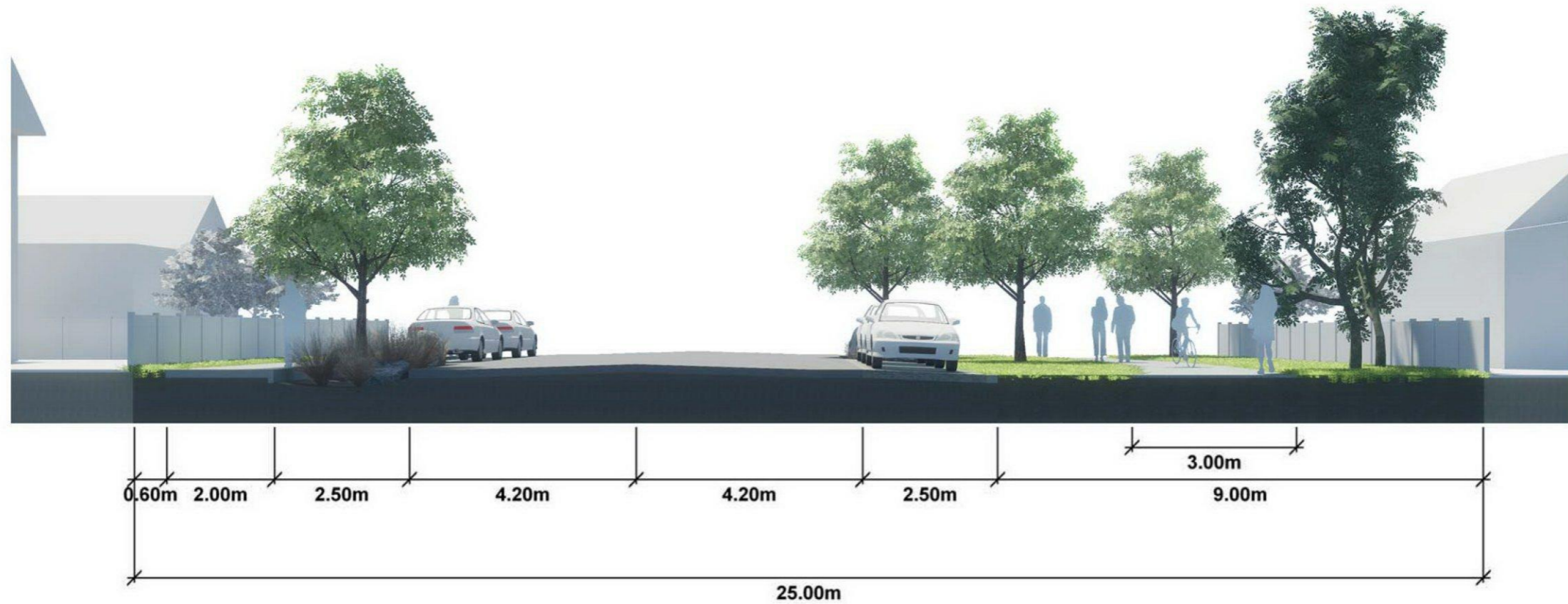
RIVER TERRACE

Road Type Cross Sections

ROAD A

PRIMARY ROAD

- + Incorporates road side parking bays
- + Street tree planting within roadside build outs
- + Linear park with shared cycle / walkway runs adjacent to road
- + Generous footpaths

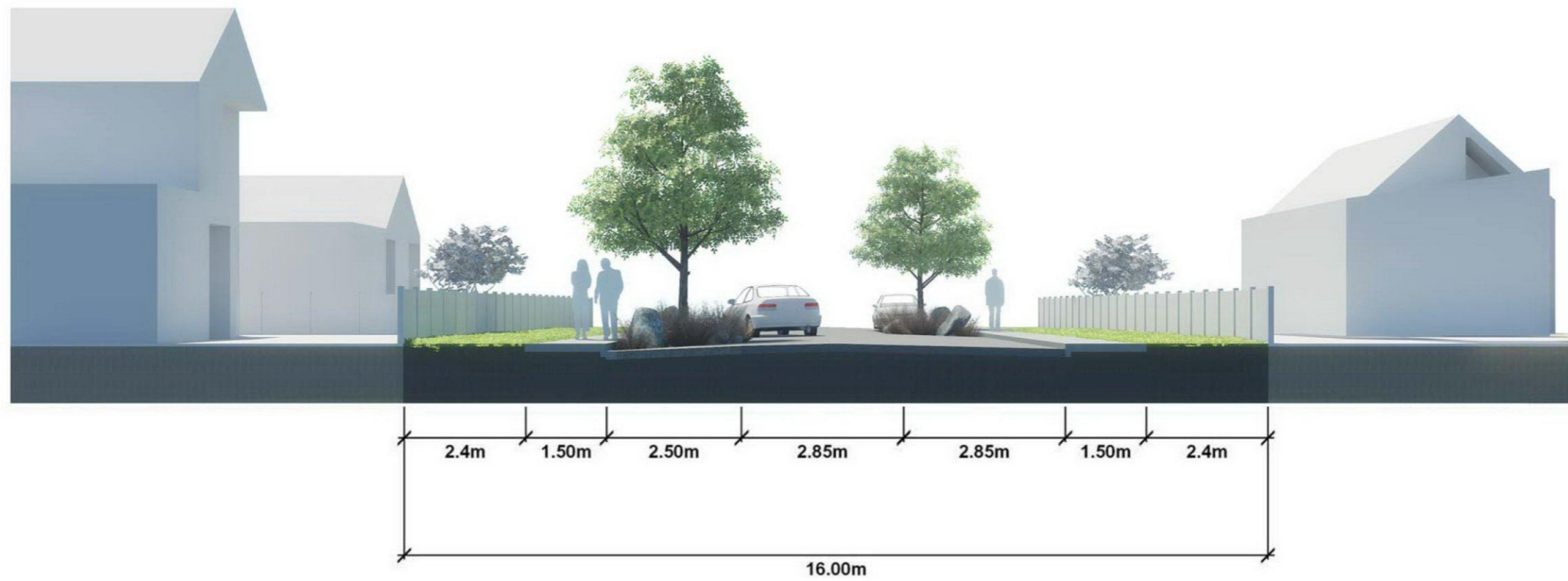


ROAD B



SECONDARY ROAD

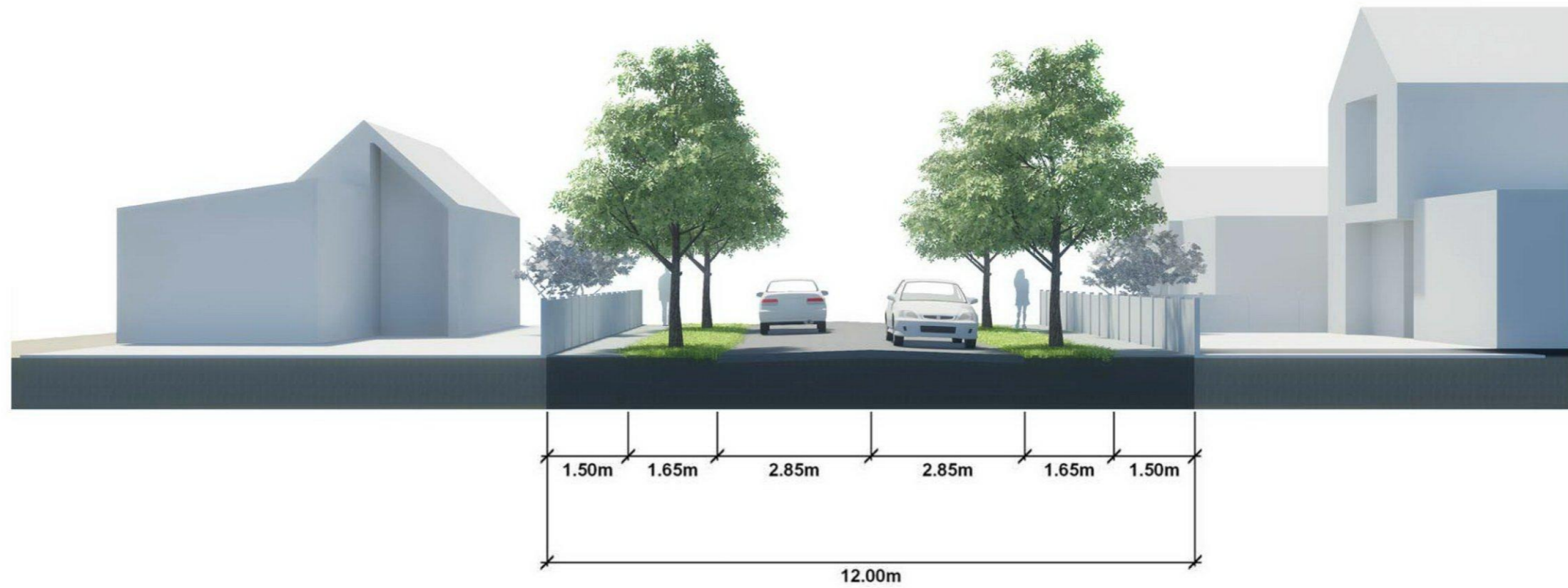
- + Incorporates roadside parking bays
- + Street tree planting within roadside build outs
- + Planted build outs + raised tables provide traffic calming and pedestrian amenity at greenway crossings



ROAD C

NEIGHBOURHOOD ROAD

- + Narrow road width promotes slow speed / safety
- + Parking on street further reduces traffic speeds
- + Street tree planting within berms
- + Footpath on both sides of road



GREENWAYS

CYCLE + PEDESTRIAN CONNECTION

- + Utilises the street and circulation network to create green linkages through the site
- + Provides transport, ecological, aesthetic and potentially stormwater services
- + Potential to incorporate some productive planting linking to site heritage and frontage landscape



RIVER TERRACE

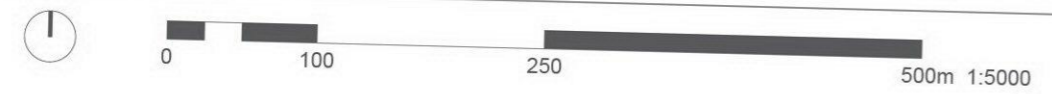
Illustrative Masterplan

WINTON PARTNERS

ILLUSTRATIVE MASTERPLAN



- OPEN SPACE
- RETIREMENT LIVING
- NEIGHBOURHOOD CENTRE
- RESIDENTIAL A
- RESIDENTIAL B





Jasmax

**ARCHITECTS
URBAN DESIGNERS
INTERIOR DESIGNERS
LANDSCAPE ARCHITECTS**

Jasmax Ltd

2 Marston Street
Parnell, Auckland 1052
PO Box 6648
Wellesley Street
Auckland 1141
+64 9 366 9626

74 First Avenue
Tauranga 3110
PO Box 14118
Tauranga Mail Centre
Tauranga 3175
+64 7 929 7433

Level 1
Grant Thornton House
215 Lambton Quay
Wellington 6011
PO Box 25523
Wellington 6146
+64 4 499 3011

47 Riccarton Road
Christchurch 8011
PO Box 8404
Riccarton
Christchurch 8440
+64 3 341 1853

www.jasmax.com

APPENDIX 3

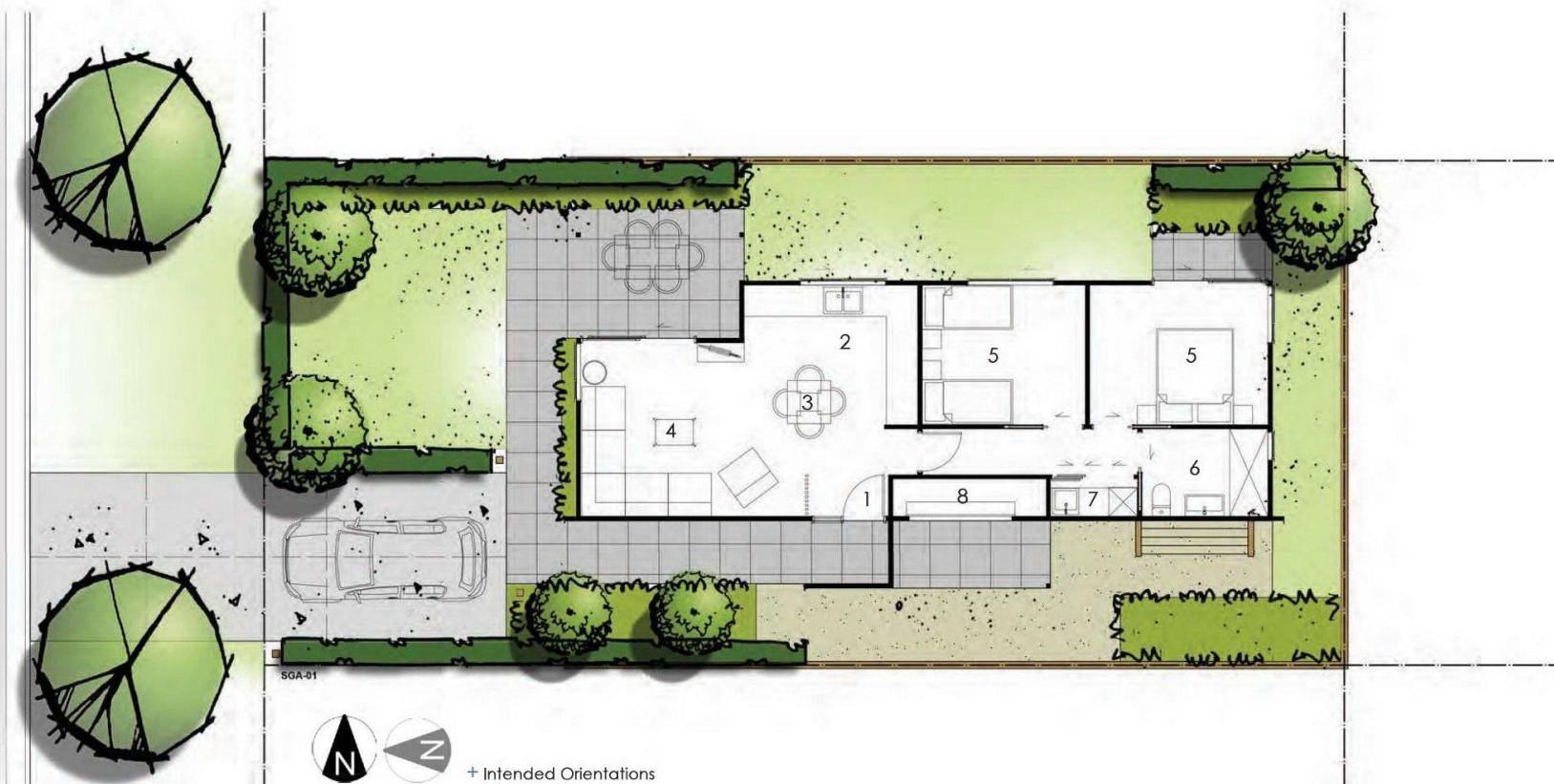
EXAMPLE PLANS AND SPECIFICATIONS - PREPARED BY WINTON

WINTON

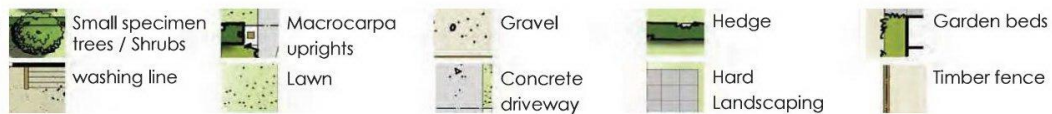
BEST BY DESIGN

**OUTLINE PLANS AND SPECIFICATIONS
FOR SGA01**

AUGUST 2018



+ Landscaping Key:



+ Architectural Key: 1 Entry - 2 Kitchen - 3 Dining - 4 Living - 5 Bedroom - 6 Bathroom - 7 Laundry - 8 Storage

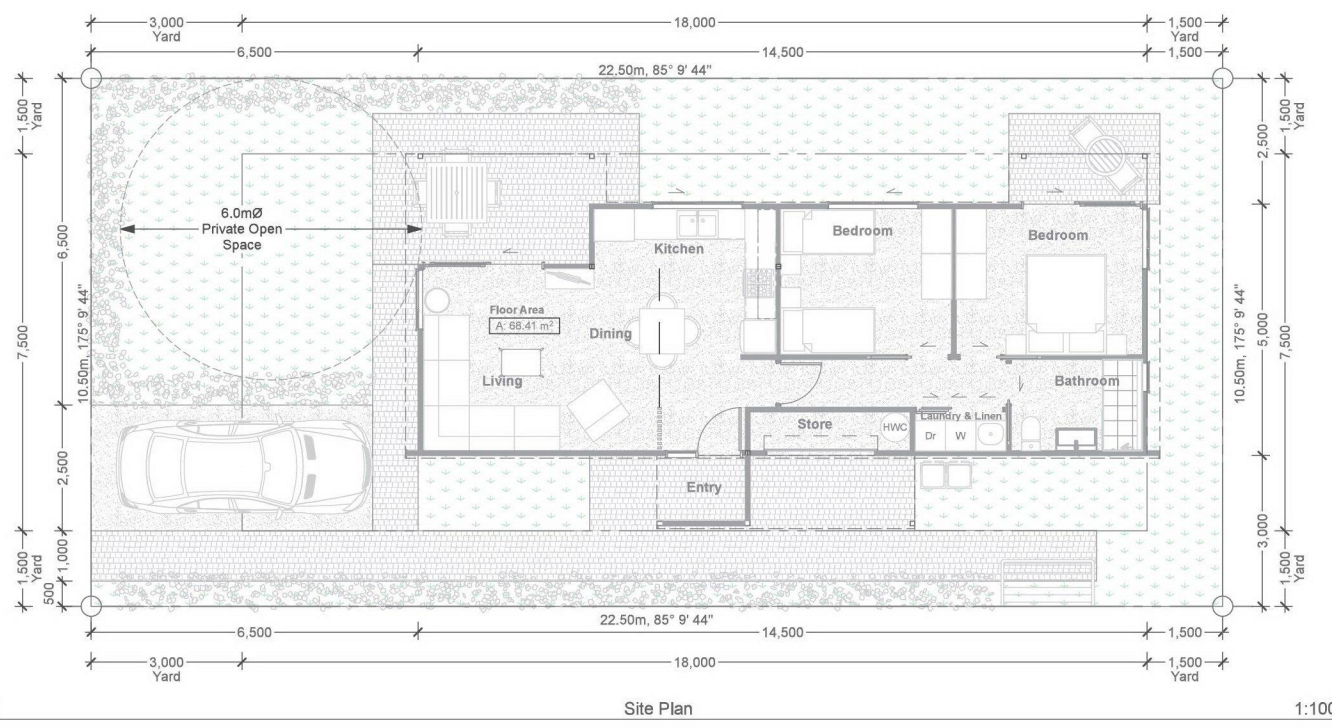
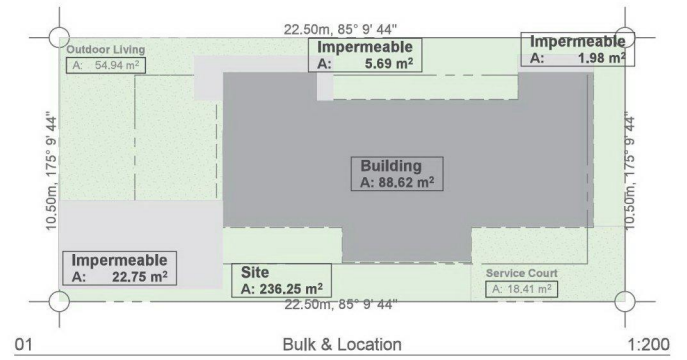
Scale 1:100 @ A3

+ Typology Name - GFA & other info

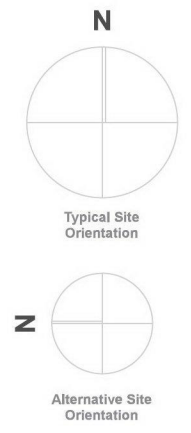


SGA 01 - Little White

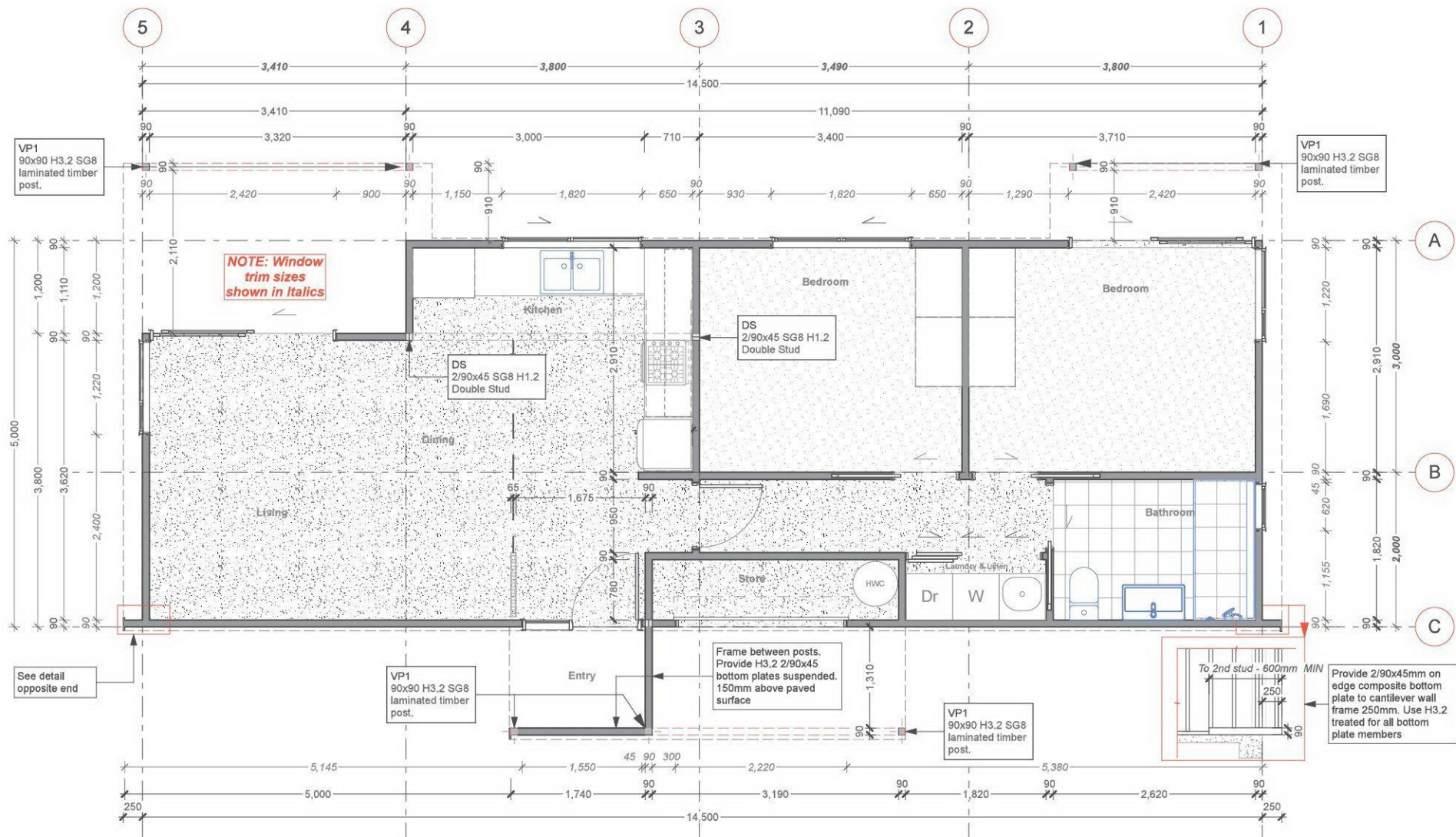
<p> Studio 26 Rossmay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgaltd.co.nz +64 9 638 6302 www.sgaltd.co.nz This drawing is copyright SGA Limited 2002 </p>	<p> Client Northlake Investments Ltd Project No. 1758 </p>	<p> Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata </p>
---	--	---



Modern Home Type		SGA-01
Site Area		236.25
Site Dimensions		22.5m x 10.5m
Existing Areas		
Landscaping	117.21	50%
Building	88.62	38%
Impermeable	30.42	13%
Total Area:	236.25	



Studio 26 Rossmay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgaltd.co.nz +64 9 638 6302 www.sgaltd.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD02
	Project No. 1758		Drawing Title Site Plans	Page 2 of 9	Scale 1:200, 1:100 @ A3	Revision Number -



Ground Floor Bracing & Dimensions Plan

1:50

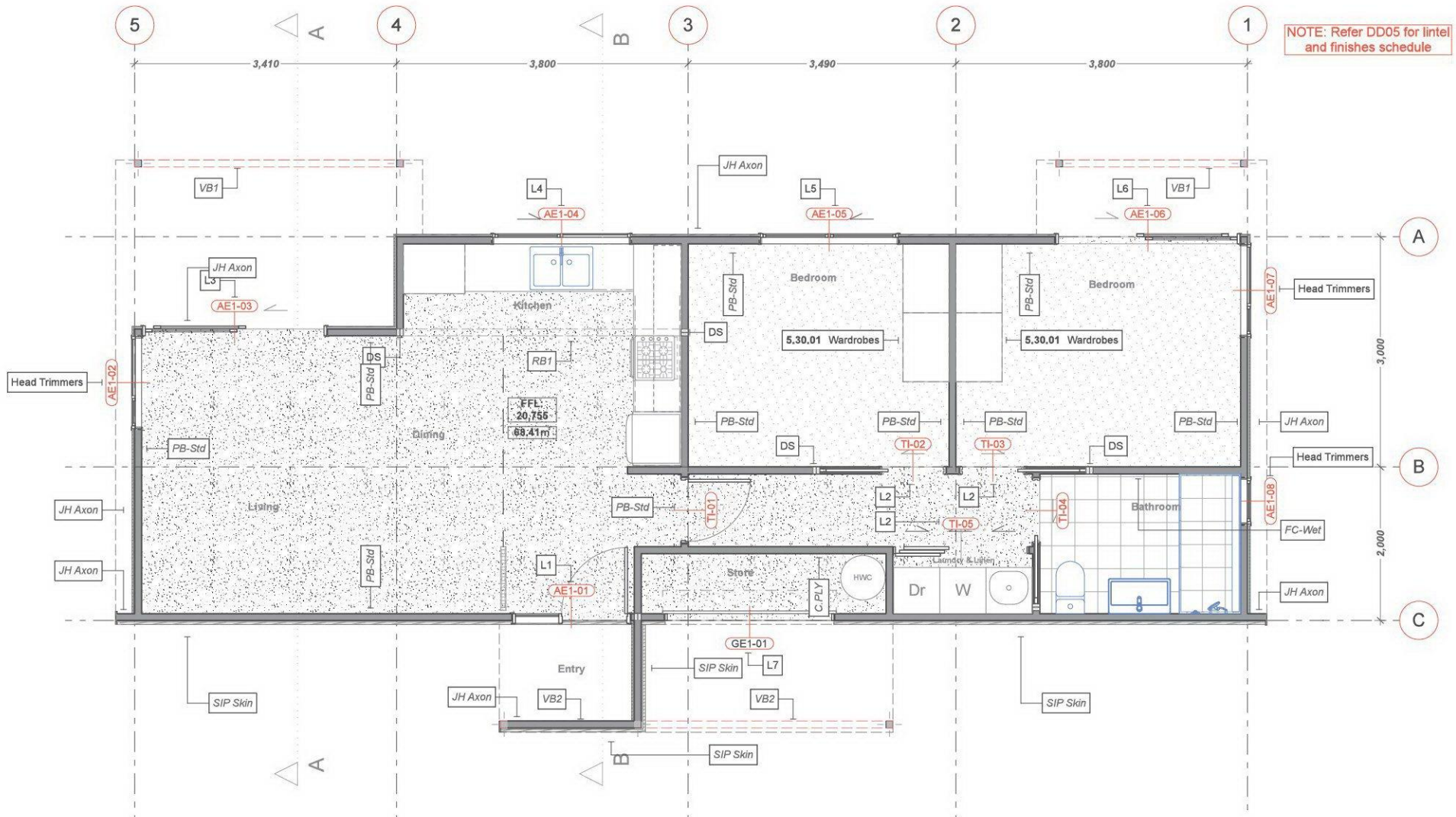


Studio
26 Rossam Terrace, Kingsland
Auckland 1024, New Zealand
Postal
PO Box 26-038, Epsom
Auckland 1344, New Zealand
Contact
info@sgald.co.nz
+64 9 638 6302
www.sgald.co.nz
This drawing is copyright
SGA Limited 2002

Client
Northlake
Investments
Ltd
Project No.
1758

Project Name / Location
SGA-01
Modern Homes,
Northlake
Development,
Scott Rd,
Te Kauwhata

SGA Type	Created	Stage	Drawing Number
SGA-01	26/03/18	Developed Design	DD03
Drawing Title	Page	Scale	Revision Number
Dimensioned Floor Plan	3 of 9	1:50 @ A3	-








Ground Floor Plan Notated

1:50





Studio 26 Rossmay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgald.co.nz +64 9 638 6302 www.sgald.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD04
	Project No. 1758		Drawing Title Ground Floor Notated Plan	Page 4 of 9	Scale 1:50 @ A3	Revision Number -

KEY: FLOOR FINISHES

-  **6.50.02 Concrete Flooring Finish: Main House**
Provide 4kg/m³ of black oxide mixed into the concrete. Steel/power floated with minimal Grind & Polished. Use Peter Fell C2 shield densifier.
-  **6.40.01 Tiling**
Selected Tiling
-  **6.40.02 Carpeting**
Selected carpeting. Install in accordance with manufacturer's written instructions.
-  **3.00.13 Concrete Slab: Paths & Driveway**
100mm exposed aggregate 20MPa concrete slab with R500E SE73DE mesh reinforcing & poured strip footing/edge thickening on 100mm min compacted hard fill.
-  **8.00.10 Paving Impermeable**
400x400x50mm Firth Forum paving laid over compacted base course in accordance with manufacturer's written instructions. Colour: Charcoal

KEY: INTERIOR WALL FINISHES

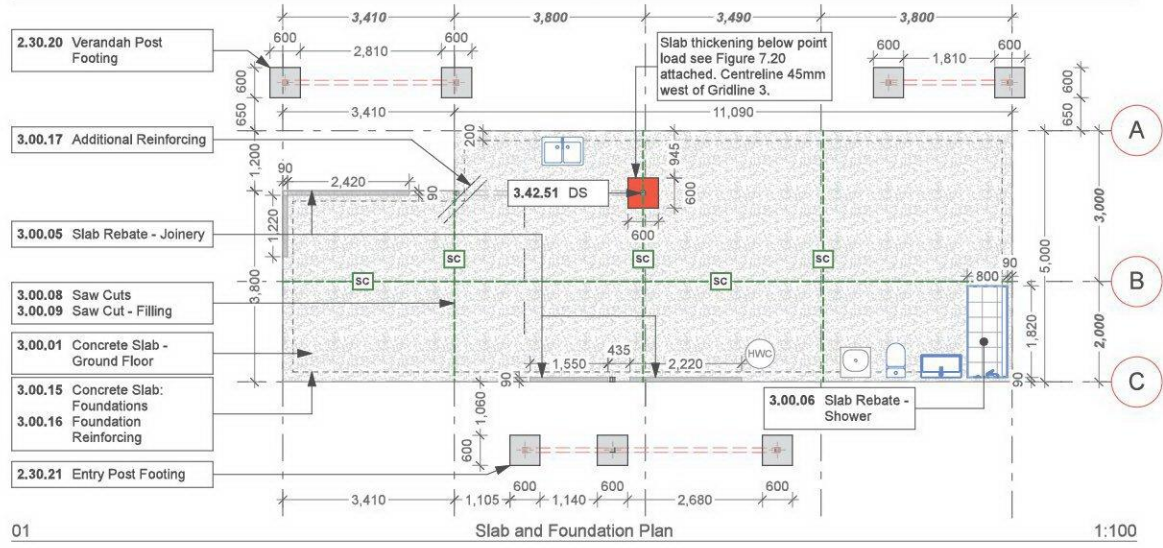
-  **5.00.01 Plasterboard Linings - Standard**
10mm paper-faced gypsum board. Use proprietary products for braced elements and for wet area walls. Paint finish with minimum reflectance values (LRV) of Ceilings: 0.7 Walls: 0.4.
-  **5.00.03 Wall Linings: Wet Area Walls**
9mm James Hardie villaboard to be installed to manufacturers specifications.
-  **5.00.02 Construction Ply**
9mm construction plywood lining to interior of storage area

KEY: EXTERIOR WALL FINISHES

-  **4.10.03 JH Axon 133mm vertical smooth cladding**
James Hardie 9mm thick pre primed, smooth 133mm vertical grooved ship lapped cladding system. Use 3000x1200mm boards to remove requirement for horizontal sheet joints. Paint Finish Titania.
-  **4.10.05 Profiled Metal Wall Cladding - SIP Skin**
Metalcraft Thermospan SIP roof skin - Colour Titania

Lintel Schedule (From A09)

- | | |
|---|---|
| <ul style="list-style-type: none"> 3.41.01 L1 (Lintel 1 - AE1-01)
2/140x45 SG8 Lintel to NZS3604:2011
Span: 1.6m
Loaded Dimension: 3.0m
Roof load only 3.41.02 L2 (Lintel 2 - T1-02, 03, 05)
2/140x45 SG8 Lintel to NZS3604:2011
Span: 1.8m
Loaded Dimension: 1.0m
Roof load only 3.41.03 L3 (Lintel 3 - AE1-03)
2/190x45 SG8 Lintel to NZS3604:2011
Span: 2.4m
Loaded Dimension: 3.0m
Roof load only 3.41.04 L4 (Lintel 4 - AE1-04)
2/140x45 SG8 Lintel to NZS3604:2011
Span: 1.8m
Loaded Dimension: 2.0m
Roof load only 3.41.05 L5 (Lintel 5 - AE1-05)
2/140x45 SG8 Lintel to NZS3604:2011
Span: 1.8m
Loaded Dimension: 2.0m
Roof load only 3.41.06 L6 (Lintel 6 - AE1-06)
2/190x45 SG8 Lintel to NZS3604:2011
Span: 2.4m
Loaded Dimension: 3.0m
Roof load only | <ul style="list-style-type: none"> 3.41.07 L7 (Lintel 7 - GE1-01)
2/190x45 SG8 Lintel to NZS3604:2011
Span: 1.8m
Loaded Dimension: 2.0m
Roof load only 3.41.08 Head Trimmers
2/90x45 SG8 trimmer to NZS3604:2011
up to 3m. Roof load only. Fixing as per 8.19.NZS:3604 3.41.09 Roof Beam RB1
2/290x45 SG8 Lintel to NZS3604:2011
Span: 3.6m
Loaded Dimension: 3.0m
Roof load only 3.41.10 Verandah Beam 01 VB1
2/240x45 H3.2 treated verandah beam
Span: 3.4m
Loaded Dimension: 1.0m
Roof load only 3.41.11 Verandah Beam 02 VB2
2/190x45 H3.2 treated verandah beam
Span: 3.0m
Loaded Dimension: 1.0m
Roof load only |
|---|---|

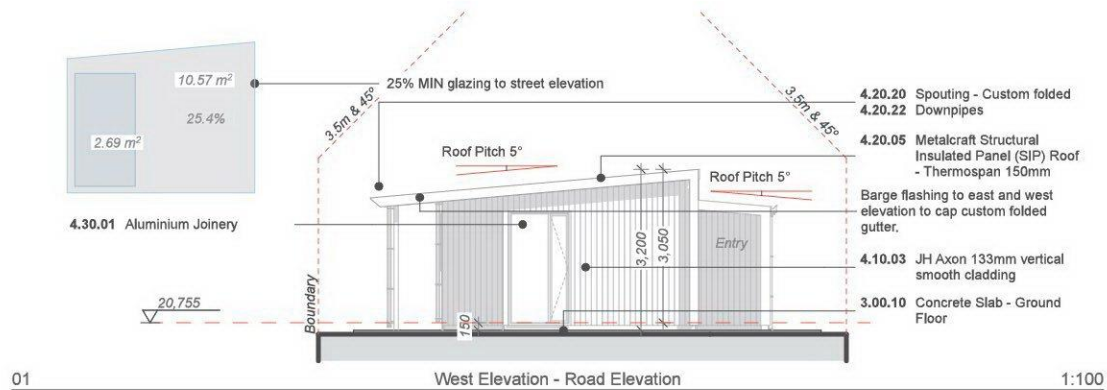


Studio
26 Rossamay Terrace, Kingsland
Auckland 1024, New Zealand
Postal
PO Box 26-038, Epsom
Auckland 1344, New Zealand
Contact
info@sgaltd.co.nz
+64 9 638 6302
www.sgaltd.co.nz
This drawing is copyright
SGA Limited 2002

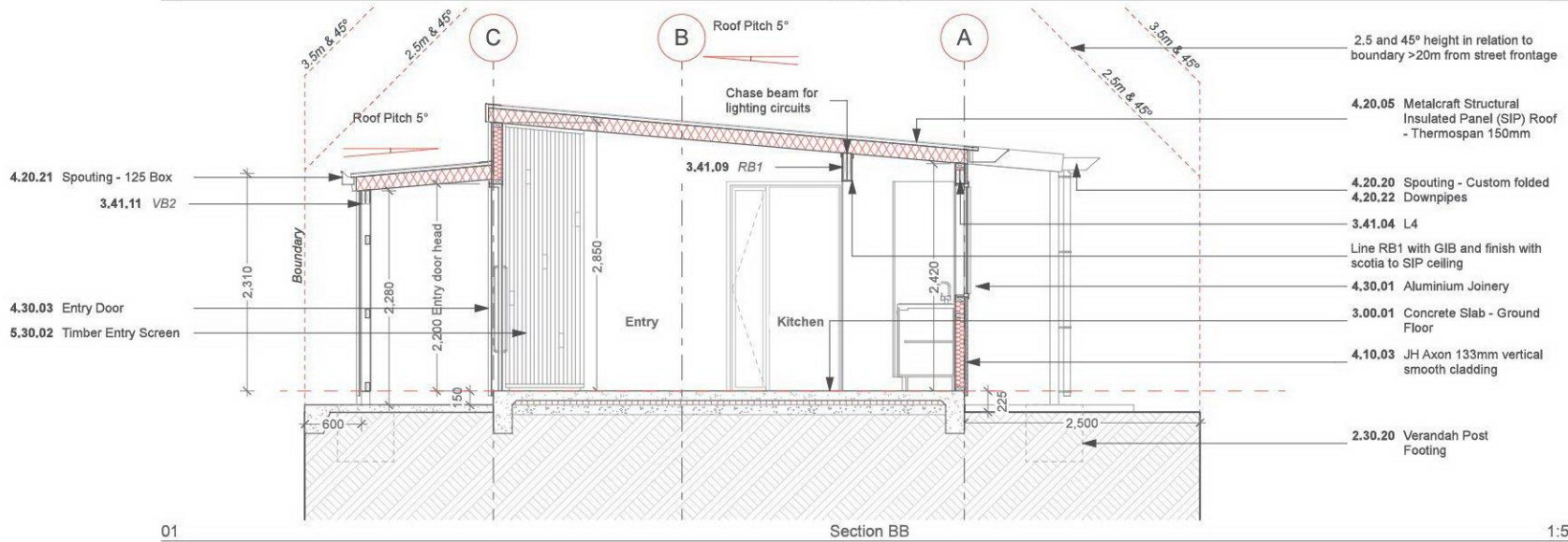
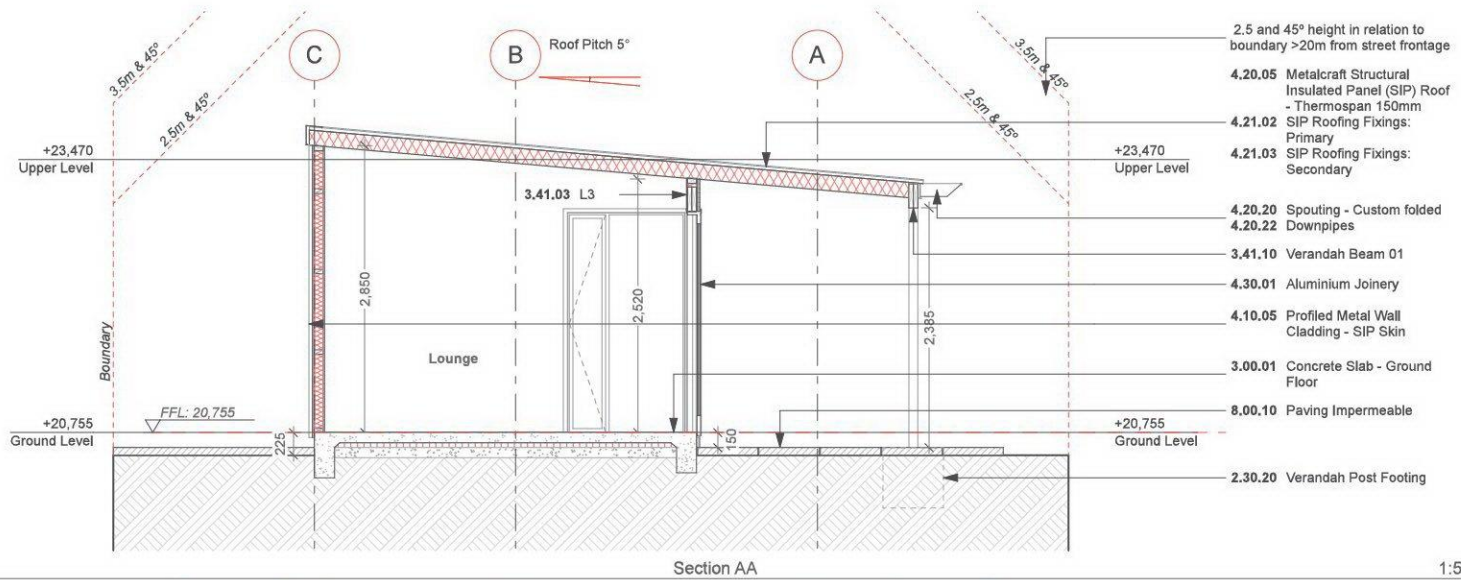
Client	Northlake Investments Ltd	Project Name / Location	SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata
Project No.	1758		

SGA Type	SGA-01	Created	26/03/18	Stage	Developed Design	Drawing Number	DD05
Drawing Title	SIP Roofing & Slab Plans	Page	5 of 9	Scale	1:100 @ A3	Revision Number	-

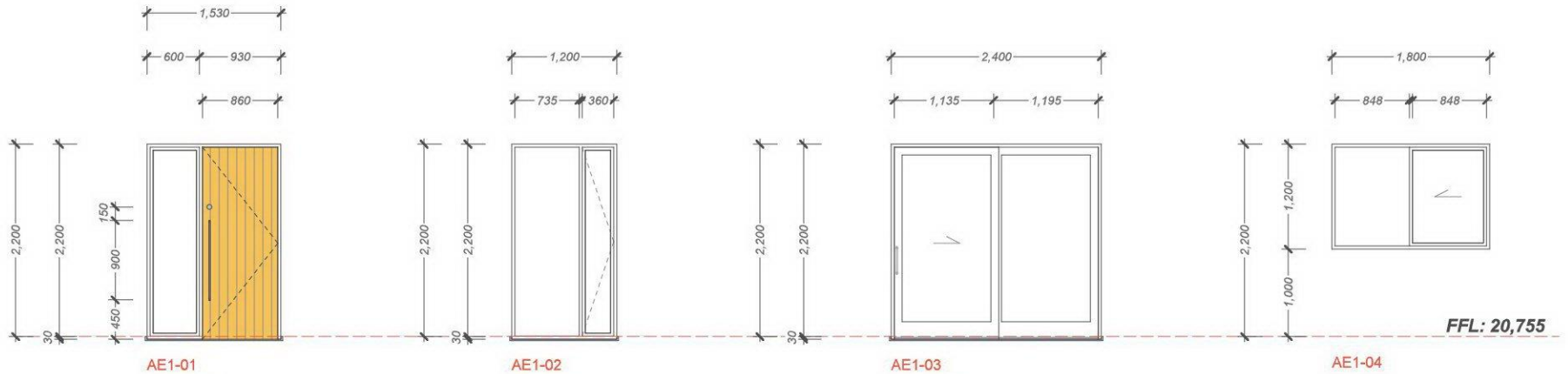
Studio 26 Rossmay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgaltd.co.nz +64 9 638 6302 www.sgaltd.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD06
	Project No. 1758		Drawing Title Elevations	Page 6 of 9	Scale 1:100 @ A3	Revision Number -



Studio 26 Rossmay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgaltd.co.nz +64 9 638 6302 www.sgaltd.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD07
	Project No. 1758		Drawing Title Elevations	Page 7 of 9	Scale 1:100 @ A3	Revision Number -



Studio 26 Rossmay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgald.co.nz +64 9 638 6302 www.sgald.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD08
	Project No. 1758		Drawing Title Sections	Page 8 of 9	Scale 1:50 @ A3	Revision Number -



AE1-01

Rebate

NOTE:
Rebated joinery - Provide heads and sills with no sill liners

AE1-02

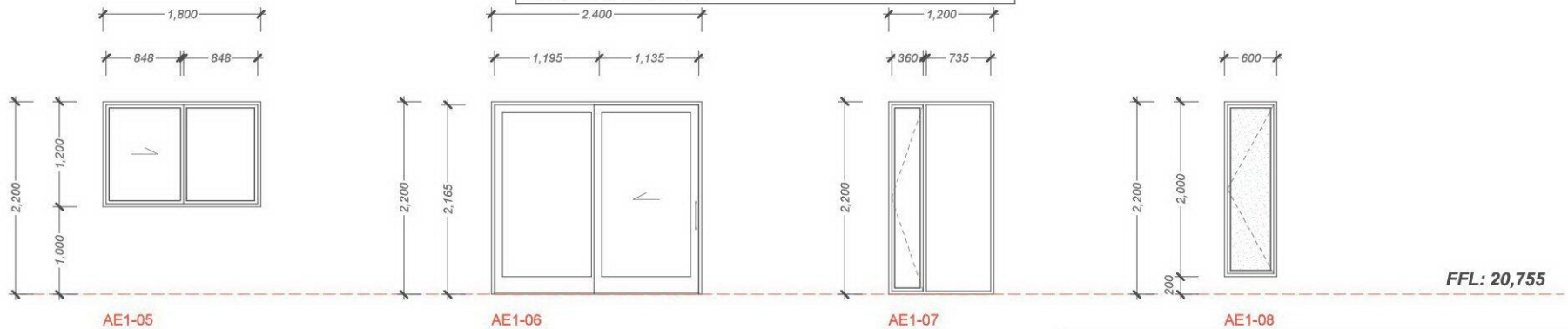
Rebate

NOTE:
Provide aluminium flat to sills of all rebated joinery - exposed concrete floors only - Aluminium flat to match joinery to infill once joinery is installed

AE1-03

Rebate

AE1-04



AE1-05

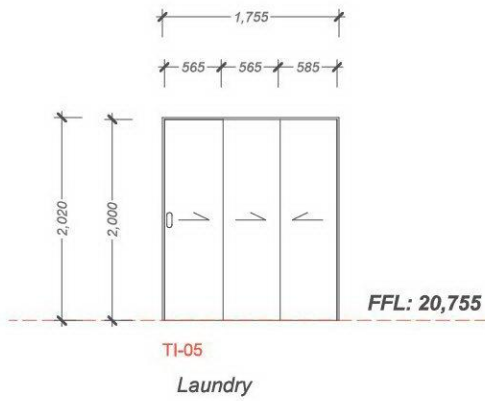
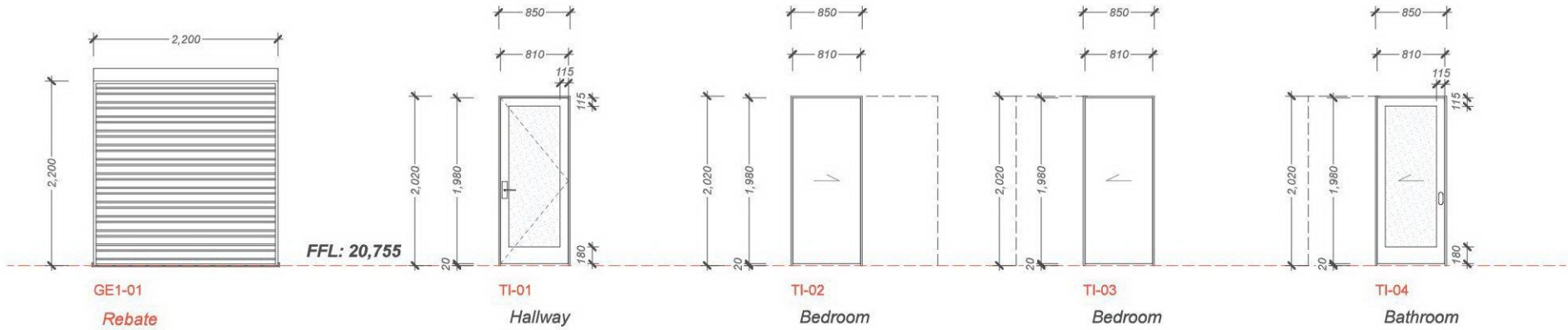
AE1-06

AE1-07

AE1-08

NOTE:
Bathroom joinery- Provide frames with suitable fixing tabs. Provide aluminium infill for villaboard fixing. Villaboard + waterproofing membrane lapped into aluminium and sealed as per DetailX04/D03

Studio 26 Rossmary Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgald.co.nz +64 9 638 6302 www.sgald.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD09
	Project No. 1758		Drawing Title Exterior Door & Window	Page 9 of 9	Scale 1:50 @ A3	Revision Number -



- 5.20.01 Interior Doors Bedrooms**
Paint finish Polycore cavity sliding interior door. Top hung. Use CS for doors. Refer C02.
- 5.20.02 Interior Doors - Bathroom**
Glazed fingerjointed pine frame interior door - cavity sliding. Top hung. Paint finish quality, Opaque safety glass. Refer C02
- 5.20.03 Interior Doors - to Hallway**
Glazed fingerjointed pine frame interior door - Hinged. Paint finish quality, Opaque safety glass. Refer C02
- 5.20.04 Interior Doors - to Laundry**
Paint finish Polycore triple sliding interior doors. Top hung. Use CS for doors- wardrobe range. Refer C02.

EXTERIOR DOOR & WINDOW SCHEDULE
N.B:
ALL DIMENSIONS SHOWN ARE STANDARD BOX SIZES.
TRIM/ROUGH OPENING SIZES ARE TO BE INCREASED BY 20MM.

EXTERIOR JOINERY:
SUPPLY:
Use APL Vantage Residential Suite

FINISH:
Frost anodised Finish to 25microns min.
Colour: Silver / Natural
Jambliners:
Use 19mm finger jointed pine suitable for 40x10 square dressed architraves
Paint finish jamb liners and architraves

GLAZING:
All glazing designed to suit Ultimate Pressure for a **Very High** Wind Zone
Glazing to be clear float glass. Double glazed IGU's in thicknesses to suit light sizes except as noted otherwise.
Interior glazed doors + AE1-08 (bathroom joinery):
6.38mm translucent laminate
All Glazing to comply with NZS 4223 1993 Pt 3

Roller DOOR TO STORAGE:
Proprietary roller door - finish to match cladding

EXTERIOR DOOR & WINDOW SCHEDULE

Entry Door:
Vantage Entrance door range - Axis AX00- paint finish accent colour - Resene Fuel Yellow

HARDWARE:
Hardware to be colour matched to joinery.
Suggestion for show home - Vantage Elemental series hardware
Provide locking to entry door only.
Provide internal snobs to lounge slider and master bed slider
Generally pulls/fasteners to suit Joinery.
Locate lever handles and flush pulls centered on 900mm from FFL.

INTERIOR DOOR & JOINERY SCHEDULE

FLUSH TIMBER DOORS:
Solid Poly core flush door with 3mm mdf door skins & 90mm loose pin butt hinges. Paint finish quality.
Glazed doors to hall and bathroom - paint finish pine frame with Opaque safety glazing.
Jambliners are to be 19mm finished pre-primed finger jointed pine to suit 40 x 10 square dressed pine architraves.
Paint finish architraves and jamb liners.

HARDWARE:
Interior Hinged Doors
Provide IR "Leonardo" Lever Handles or approved equal. SCP Finish
Sliding Doors/CS Cavity Sliders where shown
Provide 100mm Flush Pulls to sliding doors - SCP Finish
Provide Privacy latches to Bathroom
Spring loaded cavity sliders



Studio 26 Rossamay Terrace, Kingsland Auckland 1024, New Zealand Postal PO Box 26-038, Epsom Auckland 1344, New Zealand Contact info@sgaltd.co.nz +64 9 638 6302 www.sgaltd.co.nz This drawing is copyright SGA Limited 2002	Client Northlake Investments Ltd	Project Name / Location SGA-01 Modern Homes, Northlake Development, Scott Rd, Te Kauwhata	SGA Type SGA-01	Created 26/03/18	Stage Developed Design	Drawing Number DD10
	Project No. 1758		Drawing Title Interior Door Schedule	Page 10 of 9	Scale 1:50 @ A3	Revision Number -

Macintosh Harris

MACINTOSH HARRIS LIMITED | ARCHITECTURE INTERIORS




LAKESIDE SGA-01 LITTLE WHITE SCHEME 08






98 Scott Road, Te Kauwhata
Hamilton

EXTERIOR FINISHES SCHEDULE

4th May 2018
Issue 01



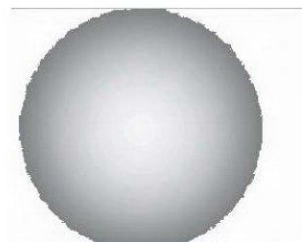
No.	Area(s)	Description/Supplier	Sample
1.	<u>ROOF and FIXTURES</u> Roof	Metalcraft Structural Insulated Panel SIP Roof Colorsteel Cloud **Note colour ebony cannot be used on the roof spec**	
2.	Spouting and downpipes	Colorsteel Cloud	
3.	Fascia and barge boards	Colorsteel Cloud	
4.	Soffits	Colorsteel Cloud	
5.	<u>CLADDING</u> Weatherboards	JH Axon Smooth 133mm Vertical Cladding Paint finish Resene Thorndon Cream	 <p>Smooth 133 mm</p>  <p>Resene Thorndon Cream</p>
6.	Metal cladding	Profiled Metal Wall Cladding SIP Skin Colorsteel Titania	
7.	Baseboards	Plastered Paint finish Dulux Midhirst	
8.	<u>JOINERY</u> Aluminium	Powder coat Dulux Matt Titania 9152068M	

No.	Area(s)	Description/Supplier	Sample
9.	Pine reveals	Paint finish Resene Thorndon Cream	
10.	Timber pergola	Stain finish Resene Woodsman Touchwood	
11.	Roller door to store room	Proprietary Roller Door Powder coat Dulux Matt Titania 9152068M	
12.	Front door	APL Axis AX00 Door Paint finish Dulux Midhirst	
13.	Front door hardware	Polished Nickel	
14.	<u>LIGHTING</u> Wall lights	Astro Calvi Wall 8318 Polished Nickel IP23 226 W x 289 D x 385mm H ECC debbiequy@ecc.co.nz	
15.	<u>LANDSCAPING</u> Fences	Stain finish Resene Woodsman Touchwood	

KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

BATHROOM INCLUSIONS

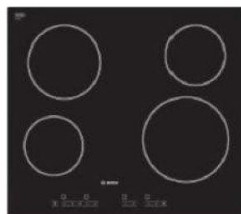
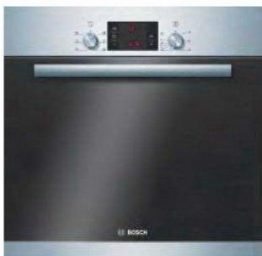
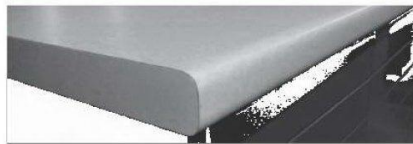
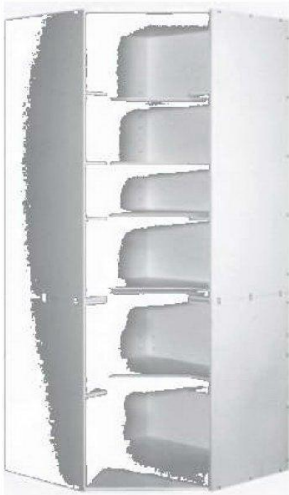
- | | |
|---|---|
| 1. Robertson Agencies Verona wall hung vanity — vitreous top(s) | 7. Grohe Bauflow basin mixer |
| 2. Mirror 1000mm high to length of vanity — frameless | 8. Englefield Valencia white acrylic shower enclosure (white doors) |
| 3. Heirloom Callisto toilet roll holders & towel rails | 9. Clear safety glass shower screens with aluminium frame |
| 4. Bauer toilet back to wall suite with soft close seat & cover (white) | 10. Tiles to bathroom and WC floor (incl skirting) |
| 5. Grohe Bauflow shower mixer | 11. Extractor fan in bathroom and ensuite |
| 6. Tempesta Cosmo 100 3F slide shower | |



KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

KITCHEN INCLUSIONS

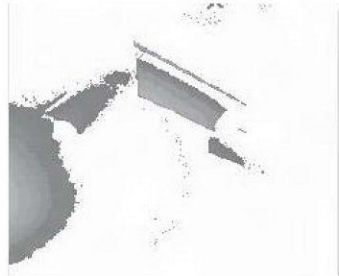
- | | |
|--|--|
| 1. Laminate bench top 600mm with freeform edge | 8. F&P 5 Function OB60SC5CEX1 wall oven |
| 2. Cupboards Melamine laminate with PVC edging | 9. F&P Ceramic 60cm CE604CBX2 hob |
| 3. Soft close drawers | 10. F&P 90cm HC90LX4 rangehood |
| 4. Kitchen cabinetry and range hood | 11. F&P DW60FC2X1 dishwasher |
| 5. Custom built pantry | 12. 980mm x 480mm 1 bowl sink |
| 6. 980mm x 480mm 1 bowl sink | 13. Grohe BauFlow / Solo Minis kitchen mixer |
| 7. Satinlite glass (with holes and domes) hob splashback | |



KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

INTERNAL INCLUSIONS

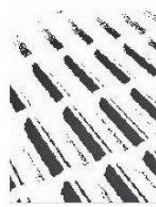
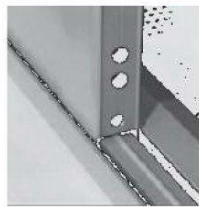
- | | |
|-----------------------------------|---|
| 1. Cavalier Carpets Express Range | 8. Sky digital pre wire (excludes satellite and subscription) |
| 2. Painted doors | 9. Skirting 60 x 12mm MDF to home/garage |
| 3. Built in robes to all bedrooms | 10. Architraves 40 x 12mm MDF to windows/doors |
| 4. Linen cupboard with 4 shelves | 11. Cornice 55mm Gib Cove to home/garage |
| 5. Aquatica Laundra Tub | 12. 10mm Gibboard plastered grade 4 walls |
| 6. Double power points throughout | 13. 13mm Gibboard plastered grade 4 ceilings |
| 7. 2 TV points | 14. Wall mounted heat pump |



KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

EXTERNAL INCLUSIONS

1. All construction and liability insurance	10. Premium Resene paints
2. Colorsteel fascia and gutter with round PVC downpipes	11. 2400mm ceiling height
3. Double glazed windows	12. H1.2 treated framing and roof trusses
4. Recessed lighting as per plan	13. Insulation to external walls & ceiling
5. 2 exterior garden taps	14. House cleaned internally & windows cleaned
6. 3 external lights	15. All rubbish removed from site
7. 180 litre mains pressure electric hot water system	16. 12 months maintenance period
8. Aluminium frame front door with glass side lights (if applicable)	17. Master Builders Guarantee (or e m equivalent) for a period of 10 years
9. Fully painted inside and out. One colour throughout	



WINTON











BEST BY DESIGN

OUTLINE PLANS AND SPECIFICATIONS FOR AV1

AUGUST 2018



+ Landscaping Key:

 Small specimen trees / Shrubs	 Macrocarpa uprights	 Gravel	 Hedge	 Garden beds
 washing line	 Lawn	 Concrete driveway	 Hard Landscaping	 Timber fence

+ Architectural Key: 1 Entry - 2 Kitchen - 3 Dining - 4 Living - 5 Bedroom - 6 Bathroom - 7 Laundry - 8 Storage

Scale 1:100 @ A3

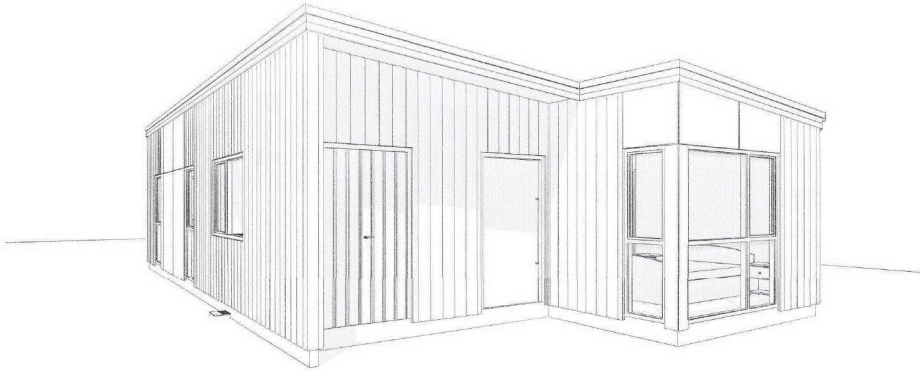
+ Typology Name - GFA & other info

PROPOSED NEW RESIDENCE

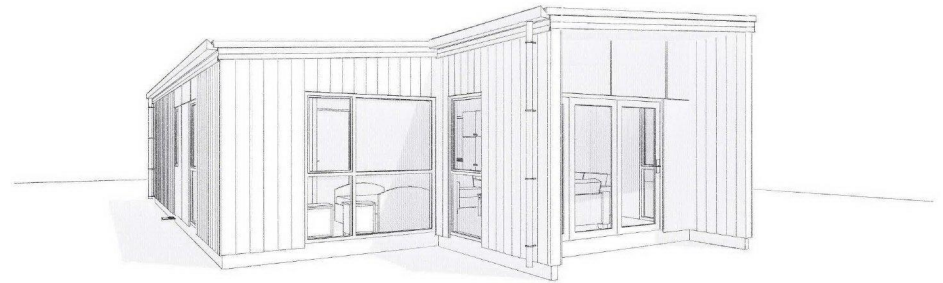
FOR

Winton Partners

Type A V1




ARTIST IMPRESSION ONLY

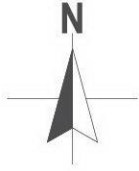


ARTIST IMPRESSION ONLY

ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT & FIXTURES AND FITTINGS FOR LANDSCAPING INCLUSIONS

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

 <p>© Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz</p>	<p>JOB TITLE: Winton Partners - Type A V1</p>	<p>DRAWING TITLE: Cover Index</p>	<p>LEGAL DESCRIPTION: LOT: tbc DP: tbc tbc</p>	<p>NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited</p>	<p>DATE OF ISSUE: 05th June 2018</p>	<p>DESIGNER: Architect / SLR TECHNICIAN: TBC</p>	<p>SCALE: TBC</p>	<p>SHEET: SK-01</p>
---	---	---	--	---	---	---	--------------------------------	---------------------------------

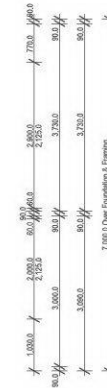
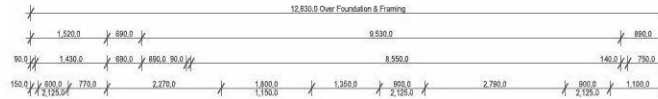


GENERAL NOTES

Perimeter (Over Foundation)	41,960.0 mm
Floor Area over Framing	69.94 m ²
Floor Area over Foundation	69.94 m ²
Floor Area over Foundation (incl. Covered Areas)	74.97 m ²
Area Over Roof (on flat) to face of fascia:	76.63 m ²
Roof Pitch	5°
Eaves Width	42mm
Gable Width	42mm
Pitching Height to underside of truss	2455 +140mm Stub End
Stub End	140mm
Lintel Height	2125mm
Soffit Height	Various
Soffit Type	Raking
Raised ceiling	N/A
Raking ceiling	N/A
Internal Door Leaf Height	Standard
Wall Cladding Materials	James Hardie Axon panel 133mm profile on 20mm cavity over 6mm RAB Board James Hardie Titan board on 20mm cavity over 6mm RAB Board
Roofing Materials	Metalcraft Structural insulated Panel (SIP) Roofing - 150mm thermospan
Engineering:	N/A
Extras:	Power Pack Rangehood

KEY

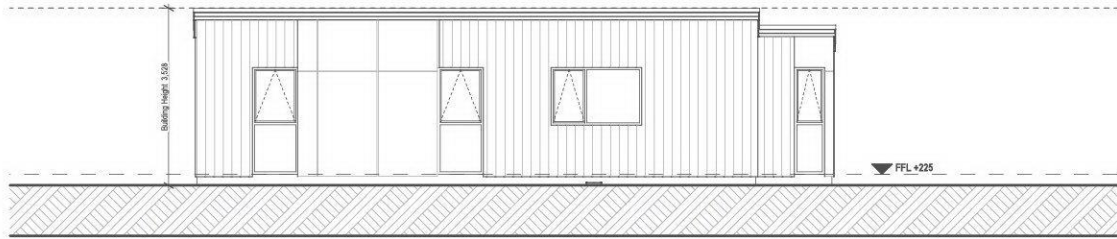
Meter/Distribution Board	
Comms Panel	
Gully Trap	
Hose Tap	
Downpipe	
Internal Heat Pump	
External Heat Pump	



ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT & FIXTURES AND FITTINGS FOR LANDSCAPING INCLUSIONS

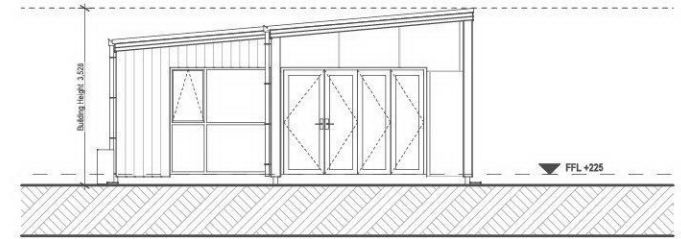
NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

<p>© Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz</p>	JOB TITLE: Winton Partners - Type A V1	DRAWING TITLE: Ground Floor Plan	LEGAL DESCRIPTION: LOT: tbc DP: tbc tbc	NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited	DATE OF ISSUE: 05th June 2018	DESIGNER: Architect / SLR TECHNICIAN: TBC	SCALE: 1:100	SHEET: SK-02
					AMENDMENT DATE:	VERSION: CODE: V1 1	JOB # MC0051	



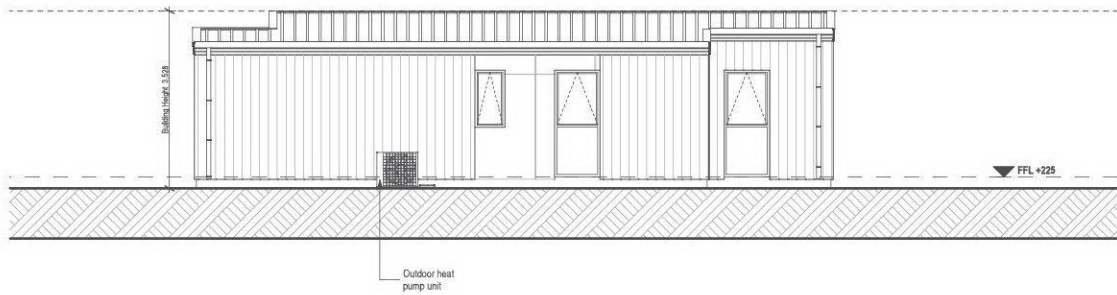
North Elevation

SCALE 1:100 @A3



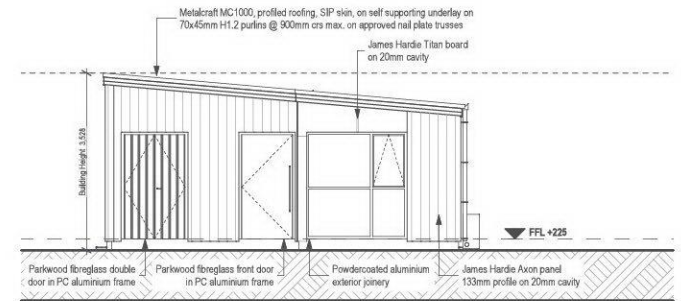
East Elevation

SCALE 1:100 @A3



South Elevation

SCALE 1:100 @A3



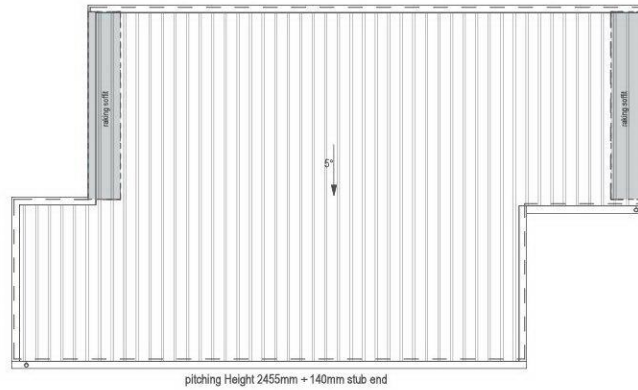
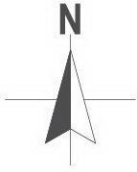
West Elevation

SCALE 1:100 @A3

ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT & FIXTURES AND FITTINGS FOR LANDSCAPING INCLUSIONS

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

 <p>© Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz</p>	<p>JOB TITLE: Winton Partners - Type A V1</p>	<p>DRAWING TITLE: Exterior Elevations</p>	<p>LEGAL DESCRIPTION: LOT: tbc DP: tbc tbc</p>	<p>NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited</p> <p>DATE OF ISSUE: 05th June 2018</p> <p>DESIGNER: Architect / SLR</p> <p>TECHNICIAN: TBC</p> <p>AMENDMENT DATE:</p> <p>VERSION: CODE: V1 1</p> <p>SCALE: 1:100</p> <p>JOB # MC0051</p> <p>SHEET: SK-03</p>
---	---	---	--	--



ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT & FIXTURES AND FITTINGS FOR LANDSCAPING INCLUSIONS

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

 © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz	JOB TITLE: Winton Partners - Type A V1	DRAWING TITLE: Roof Plan	LEGAL DESCRIPTION: LOT: tbc DP: tbc tbc	NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited	DATE OF ISSUE: 05th June 2018	DESIGNER: Architect / SLR TECHNICIAN: TBC AMENDMENT DATE: V1	SCALE: 1:100	SHEET: SK-04 JOB # MC0051
---	--	------------------------------------	---	--	----------------------------------	---	-----------------	---

Macintosh Harris

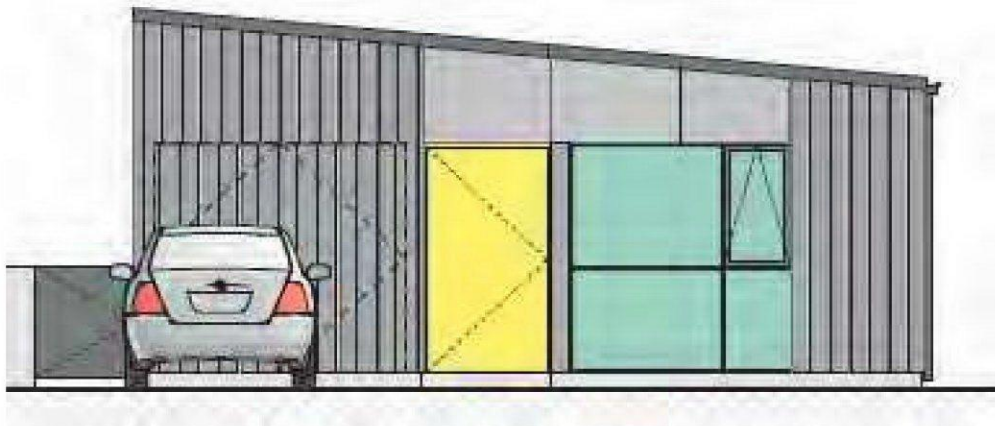
MACINTOSH HARRIS LIMITED | ARCHITECTURE INTERIORS


LAKESIDE ARCHITEX Av1 SCHEME 04





98 Scott Road, Te Kauwhata
Hamilton

EXTERIOR FINISHES SCHEDULE

7th May 2018
Issue 01



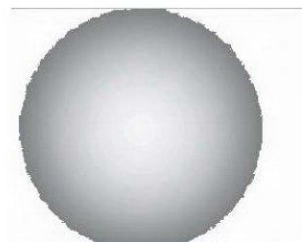
No.	Area(s)	Description/Supplier	Sample
1.	<u>ROOF and FIXTURES</u> Roof	Colorsteel New Denim Blue	
2.	Spouting and downpipes	Colorsteel New Denim Blue	
3.	Fascia and barge boards	Colorsteel New Denim Blue	
4.	Soffits	Paint finish Resene MH Shadow White 1 litre white base: C ½, G ¼, K1	
5.	<u>CLADDING</u> Weatherboards	JH Axon Smooth 133mm Paint finish Dulux Skippers	 Smooth 133 mm 
6.	Façade panel	JH Titan Board Paint finish Resene MH Shadow White 1 litre white base: C ½, G ¼, K1	
7.	Baseboards	Plastered Paint finish Dulux Skippers	
8.	<u>JOINERY</u> Aluminium	Dulux Duralloy LSG Matt New Denim Blue 9155063M	

No.	Area(s)	Description/Supplier	Sample
9.	Pine reveals around windows and weatherboard walls	Paint finish Dulux Boulder Bay	
10.	Front door	Powder coated Dulux Electro Burnished Copper 9068185K	
11.	Front door hardware	Black	
12.	<u>LIGHTING</u> Wall lights	Astro Homefield 0483 Matt black finish with clear glass IP44 160 W x 110 D x 250mm H ECC debbiequy@ecc.co.nz	
13.	<u>LANDSCAPING</u> Fences	Stained Resene Woodsman Bark	

KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

BATHROOM INCLUSIONS

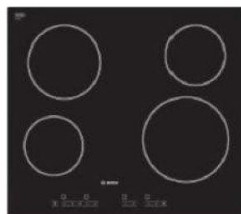
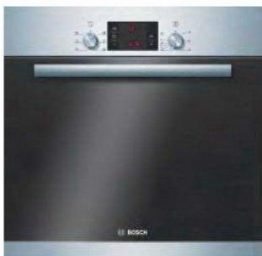
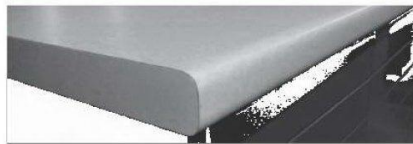
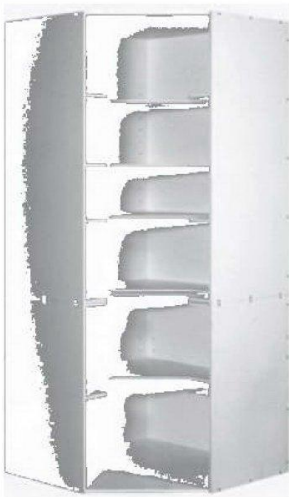
- | | |
|---|---|
| 1. Robertson Agencies Verona wall hung vanity — vitreous top(s) | 7. Grohe Bauflow basin mixer |
| 2. Mirror 1000mm high to length of vanity — frameless | 8. Englefield Valencia white acrylic shower enclosure (white doors) |
| 3. Heirloom Callisto toilet roll holders & towel rails | 9. Clear safety glass shower screens with aluminium frame |
| 4. Bauer toilet back to wall suite with soft close seat & cover (white) | 10. Tiles to bathroom and WC floor (incl skirting) |
| 5. Grohe Bauflow shower mixer | 11. Extractor fan in bathroom and ensuite |
| 6. Tempesta Cosmo 100 3F slide shower | |



KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

KITCHEN INCLUSIONS

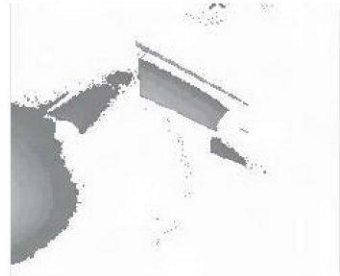
- | | |
|--|--|
| 1. Laminate bench top 600mm with freeform edge | 8. F&P 5 Function OB60SC5CEX1 wall oven |
| 2. Cupboards Melamine laminate with PVC edging | 9. F&P Ceramic 60cm CE604CBX2 hob |
| 3. Soft close drawers | 10. F&P 90cm HC90LX4 rangehood |
| 4. Kitchen cabinetry and range hood | 11. F&P DW60FC2X1 dishwasher |
| 5. Custom built pantry | 12. 980mm x 480mm 1 bowl sink |
| 6. 980mm x 480mm 1 bowl sink | 13. Grohe BauFlow / Solo Minis kitchen mixer |
| 7. Satinlite glass (with holes and domes) hob splashback | |



KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

INTERNAL INCLUSIONS

- | | |
|-----------------------------------|---|
| 1. Cavalier Carpets Express Range | 8. Sky digital pre wire (excludes satellite and subscription) |
| 2. Painted doors | 9. Skirting 60 x 12mm MDF to home/garage |
| 3. Built in robes to all bedrooms | 10. Architraves 40 x 12mm MDF to windows/doors |
| 4. Linen cupboard with 4 shelves | 11. Cornice 55mm Gib Cove to home/garage |
| 5. Aquatica Laundra Tub | 12. 10mm Gibboard plastered grade 4 walls |
| 6. Double power points throughout | 13. 13mm Gibboard plastered grade 4 ceilings |
| 7. 2 TV points | 14. Wall mounted heat pump |



KIWIBUILD HOMES SPECIFICATIONS - KIWIBUILD HOMES

EXTERNAL INCLUSIONS

1. All construction and liability insurance	10. Premium Resene paints
2. Colorsteel fascia and gutter with round PVC downpipes	11. 2400mm ceiling height
3. Double glazed windows	12. H1.2 treated framing and roof trusses
4. Recessed lighting as per plan	13. Insulation to external walls & ceiling
5. 2 exterior garden taps	14. House cleaned internally & windows cleaned
6. 3 external lights	15. All rubbish removed from site
7. 180 litre mains pressure electric hot water system	16. 12 months maintenance period
8. Aluminium frame front door with glass side lights (if applicable)	17. Master Builders Guarantee (or e m equivalent) for a period of 10 years
9. Fully painted inside and out. One colour throughout	

